

Capri Tower 1
1835 Gordon Dr
Kelowna, BC

Design Rationale &
Zoning Booklet



1 Executive Summary

1.1 Application Overview

GSL Group is pleased to submit to the City of Kelowna a Development Permit application for the site at 1835 Gordon Dr. The site is centrally located and an ideal location to introduce infill density and activate Kelowna's Capri-Landmark.

The proposed redevelopment of 1835 Gordon Dr. will create a compact and central residential development within a short walk to several amenities, parks and the Gordon Dr & Harvey Ave mixed-use corridor.

Zoning: CD26 - Capri Centre and UC2 - Capri-Landmark Urban Centre

The subject site is addressed under CD26 - Capri Centre in Zoning Bylaw 12375 which permits a podium up to 16m height. This scheme proposes two levels of parking podium above grade, and steps back with 3 floors of residential podium on levels 3-5.



Figure 1-1: Axonometric View SE Corner

1.2 Project Description

The proposal includes one 23-storey tower atop a 5-storey podium that includes above-ground parking and one level of below grade parking. The site redevelopment will not change or influence connectivity patterns, and will retain the existing laneway on the east edge of the site. The development will provide 269 new housing units:

- 6 Town houses,
- 38 Two-bedroom + den apartments,
- 63 Two-bedroom apartments,
- 64 One -bedroom + den apartments,
- 95 One-bedroom apartments, and
- 3 studio apartments.



Figure 1-2: Axonometric View NW Corner

1.3 Project Amenities and Public Realm

Streetscape, Landscape, Public Realm Design

- Trees and plantings maintain appropriate sight lines and circulation
- Corner plaza cutout for engaging the public realm and neighboring projects
- Attractive, engaging, functional on-site open spaces with high quality, durable and contemporary materials, colours, lighting, furniture, and signage (refer to Landscape Plan for details)
- Favourable microclimate includes outdoor spaces with ample sunlight year-round, minimal heat absorption, mix of evergreen and deciduous trees, wind buffering
- Native, durable, drought-tolerant trees for local climate and site conditions
- Stormwater management maintains pre-development flows through water capture and infiltration
- Minimal water use for irrigation
- Trees, shrubs, and plantings maintain appropriate sight lines and circulation
- Low maintenance, sustainable, recycled materials and furnishings
- Exterior lighting is directional, cuts off light pollution, and maintains safety and visibility at night

Building Articulation, Features, and Materials

- Architectural podium cutout to lighten massing at grade
- Unified architectural concept with varied facade treatments
- Architectural character reflects residential use
- Building address is identified through signage
- Durable building design for the local climate and region



Figure 1-3: SE Corner Rendering

2 Location and Context

2.1 Site Description

The site is located in 1835 Gordon Dr SE corner, bounded on the east by Capri St, on the south by Sutherland Avenue, to the north by another site at 1171 Capri St. This block is central to the development of Capri-Landmark Urban Centre, and is a strategic place to accommodate population and economic growth. All sides of the site are experiencing future redevelopment, streetscape improvements, and intensification.

Legal Address:

Plan KAP52246 LOT 1
DISTRICT LOT 137

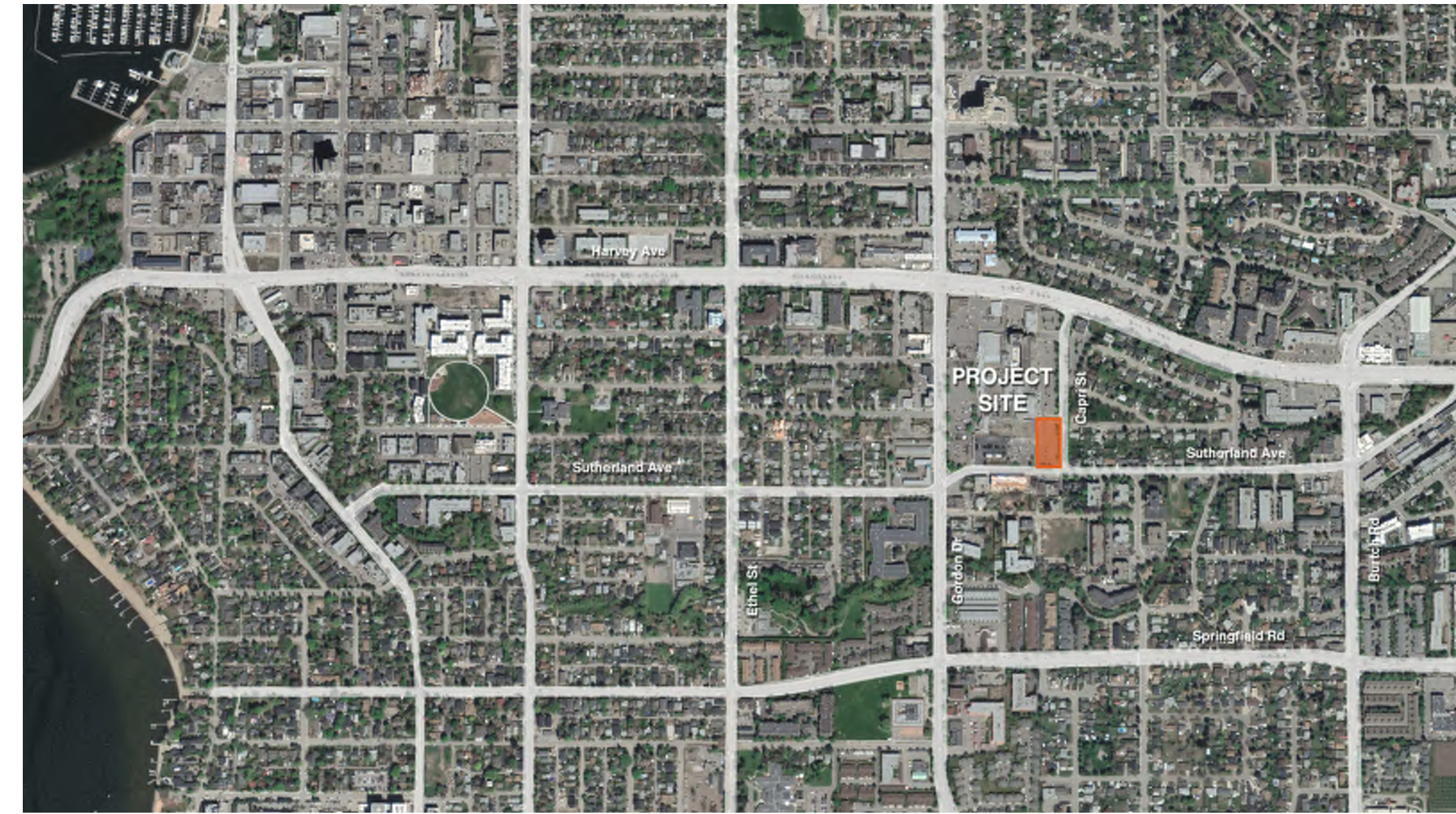


Figure 1-4: Site Location



Figure 1-5: Site Condition Key Map

2.2 Current Site Condition

The current condition of the site is a parking lot that is part of the Capri-Centre Mall, and important hub for many residents in the Capri area, offering key day-to-day services and amenities. Surrounding development ranges from low to mid-rise commercial and residential buildings. Goodlife Fitness and Peter's Independent Grocery is located directly west of the subject site.



View facing West along Sutherland Ave. with Capri St.



View facing East along Sutherland Avenue



View facing East from the surface parking lot.



View facing South from surface parking lot



View of the site from the northeast corner of the site, facing southeast onto the current site condition



View of the current site condition - surface parking lot and lowrise commercial spaces from the south edge of the site facing north

2.3 Surrounding Land Uses

The subject site is surrounded by commercial uses to the north and west, and residential uses to the east. The Capri-Centre Mall provides key amenities to the area's residents including a fitness centre, a pharmacy, and banking services. It is the peak mix of uses and heights, as it transitions down to low-rise residential to the east and low-rise commercial and mixed uses to the south.

Between the Landmark District and the Capri-Centre Mall, the lands consist primarily of multi-unit residential developments. The lands fronting Sutherland Avenue and Pacific Court are dominated by three- and four-storey apartment buildings with a mix of surface and covered parking.

The OCP aims to transform Capri-Landmark into a vibrant live-work urban centre, to achieve the number of people living in the urban centre will need to be increased substantially to rebalance the residential and employment densities. That will require shifting much of the Landmark District's land from varied low-density commercial uses to mixed-use residential buildings and apartment housing.

2.4 Connectivity Network

The Capri-Landmark road network is underdeveloped and suffers from limited internal and external road connections. Within the Landmark area the transportation network was not designed to accommodate high-density office development, resulting in high levels of congestion during the morning and afternoon as commuters leave the area.

The active transportation network in Capri-Landmark is focused along Sutherland Avenue, which connects the urban centre to the Rails-with-Trails cycling corridor via a pedestrian bridge across Highway 97. Additional active transportation corridor (ATC) work is planned in the coming years, eventually resulting in the completion of corridors along Sutherland Avenue and Burtch Road.

The OCP envisions road network improvements to strengthen the road network, increasing connectivity and redundancy within the urban centre. Providing more opportunities to travel east-west within the urban centre for pedestrians, cyclists, transit users, and drivers. Making active modes of transportation a safe and convenient option.

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Legend

- Open Space / Park
- UC - Urban Centre
- Education / Institutional
- RCOM -Regional Commercial Corridor
- C-NHD Core Area Neighbourhood
- R-AGR Rural - Agricultural & Resource
- Subject Site
- 400m Radius (approx 5. minute walk)

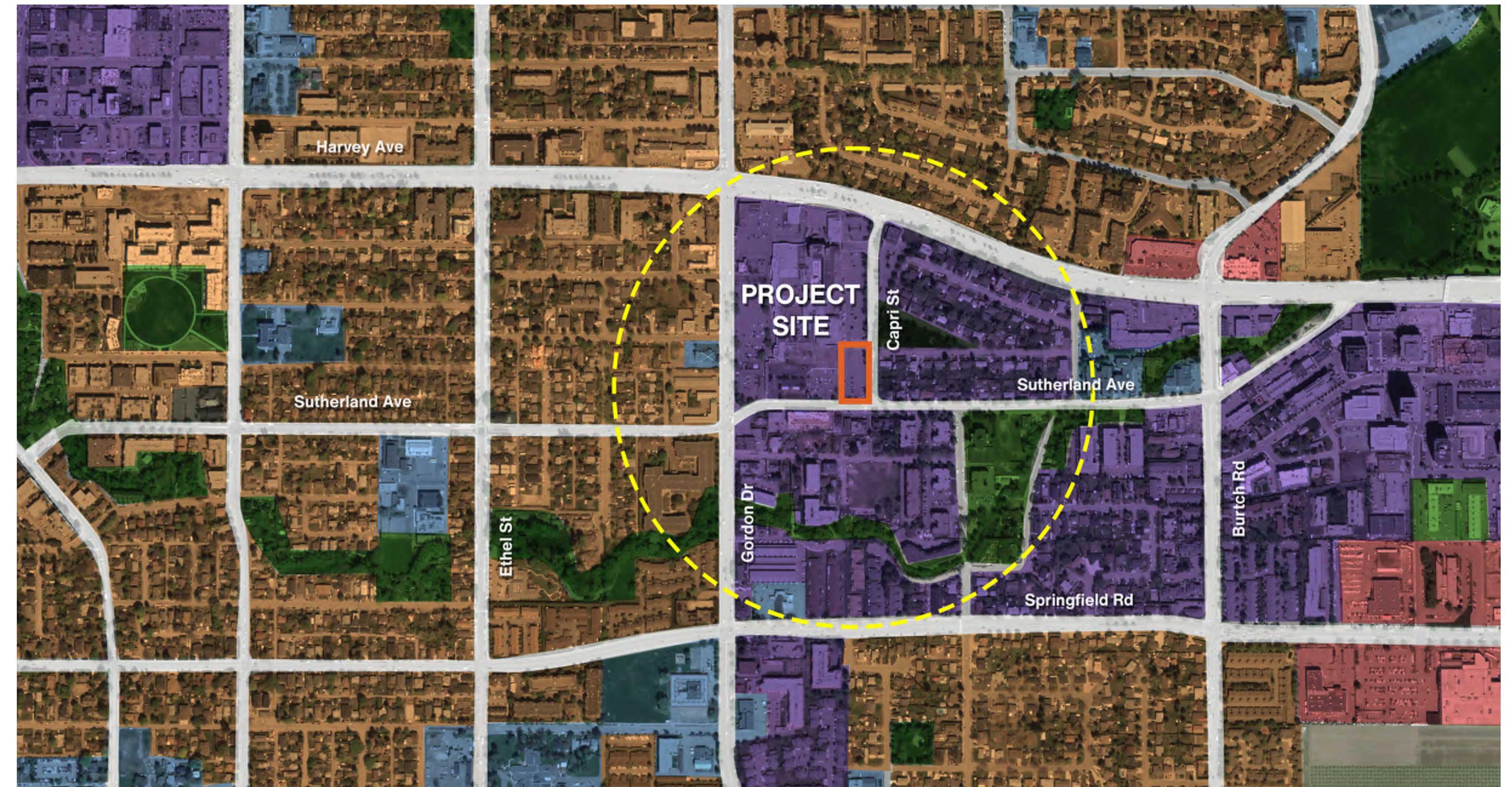


Figure 1-6: Surrounding Land Uses Map - OCP 2040

Legend

- Rapid Transit
- Frequent Transit Network
- Future Frequent Transit Network
- Bike - Existing Primary
- Bike - Future Primary
- Bike - Existing Secondary
- Bike - Future Secondary
- Subject Site
- 400m Radius (approx. 5-minute walk)

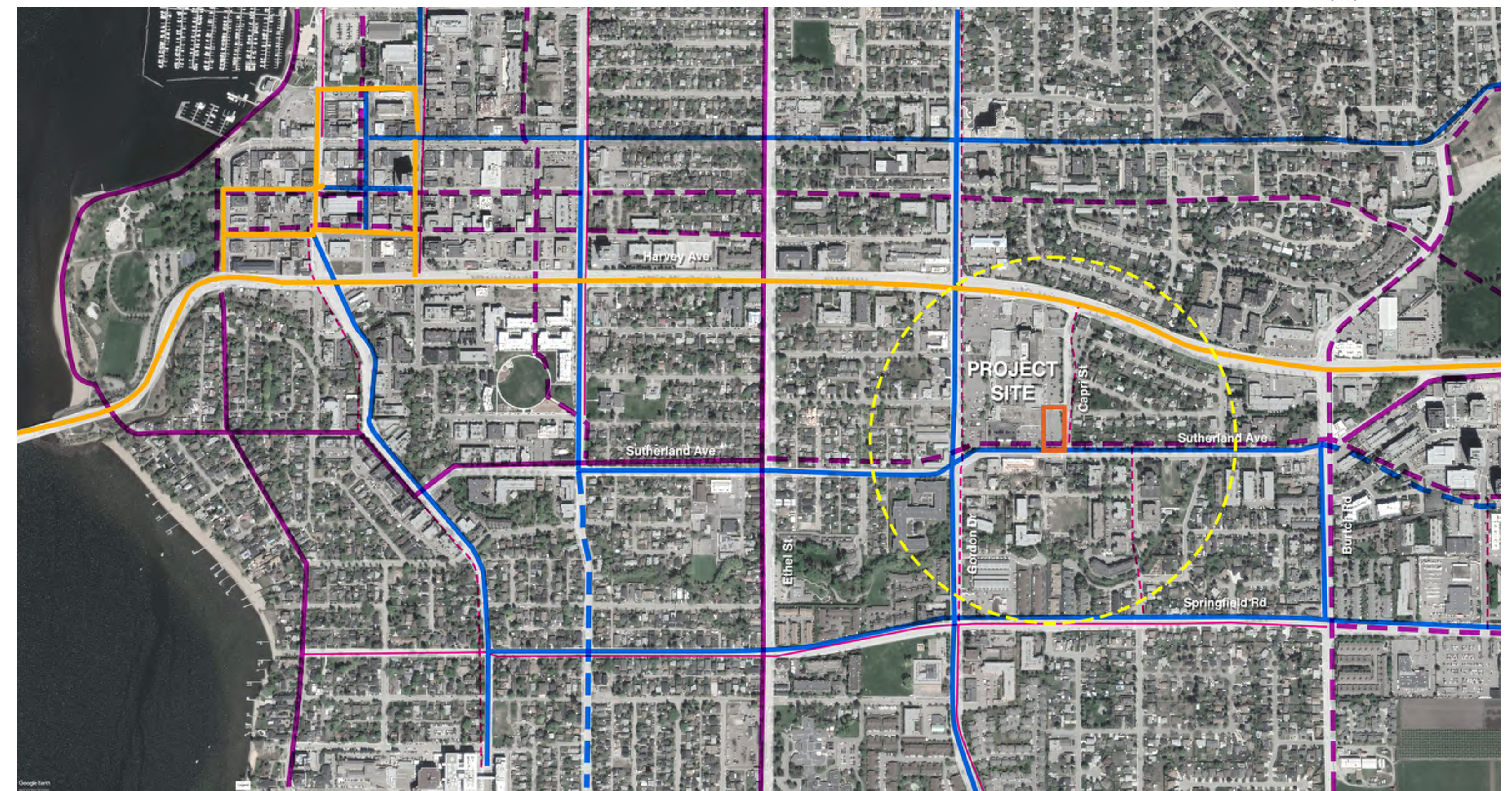


Figure 1-7: Connectivity Network Map - OCP 2040

2.5 Surrounding Building Heights

The area surrounding 1835 Gordon Dr currently has a mix of low and medium height buildings. Additional building heights will be supported in key areas of the urban centre to achieve the proposed densities and build out for Capri-Landmark.

The OCP objective is to respect the hierarchy of building height citywide and gradually reduce maximum building heights from 26 storeys in the Capri Centre to 18 storeys in the Landmark District.

2.6 Local Amenities

The Capri-Centre Mall provides key amenities like fitness centre, a pharmacy, and banking services to the area. Several creeks run through the area. For example, Mill Creek, one of Okanagan Lake's main tributaries. Also, other smaller watercourses connect to Mill Creek, including Ritchie Brook.

Two parks are located within the Capri-Landmark urban centre: Pacific Park, which is host to a successful community garden, and Mary Ann Collinson Memorial park. Both parks contain play structures and open green spaces. No community centres, plazas, or public squares are currently located within Capri-Landmark, but Parkinson Recreation Centre is located just north of the Landmark District across Harvey Avenue.



Figure 1-9: Building Heights - OCP 2040

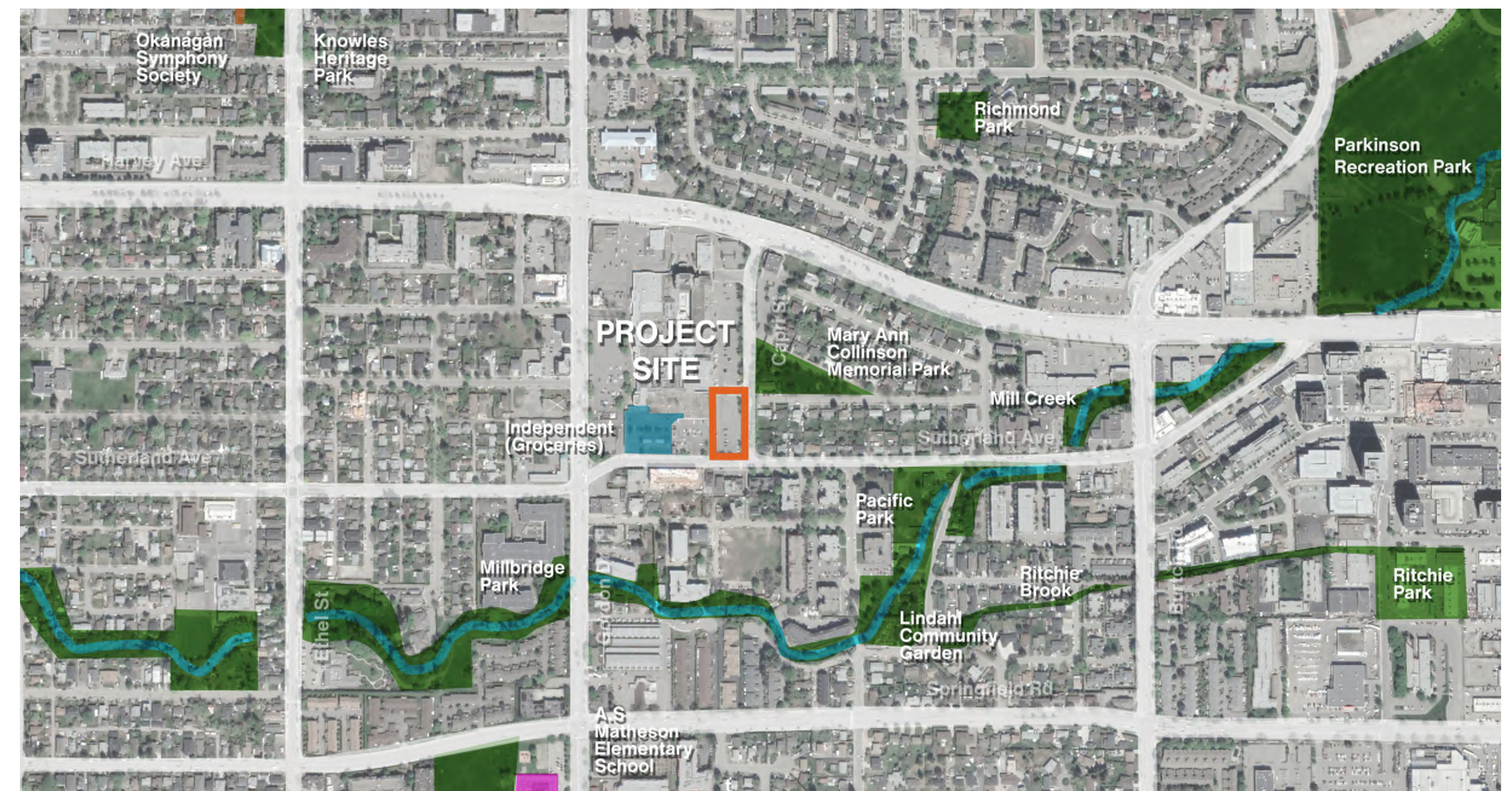
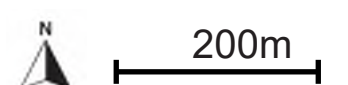


Figure 1-8: Local Amenities



2.7 Compact Communities

Intensifying urban development patterns is the most efficient way to responsibly use land, accommodate regional growth, mitigate the impacts of climate change, and foster a high quality of life in Urban Centres.



Social Benefits:

- A concentrated tax base provides new or renewed services to the area, benefiting all residents.
- Social networks and gathering places - including parks, trails, cafes, community services - are within walking distance for more people.
- A smaller development footprint allows for larger, more open common outdoor spaces.



Environmental Benefits:

- Opportunity for lower emissions, energy-efficient buildings allow for a smaller ecological footprint for residents.
- Reduced reliance on carbon-emitting individual cars due to increased walkability in a compact neighbourhood.
- Local businesses gain customers in their community.
- Urban sprawl is curbed, protecting valuable ALR land and regenerating brownfield or infill sites.



Economic Benefits:

- Increases investment value of urban infrastructure, serving more people with less hardscape and servicing costs.
- Makes efficient use of the transit network by concentrating housing and jobs along transit routes.
- Smaller development footprint shared among more residents results in lower housing costs, providing attainable affordable housing for more households.

3 Policy Context

3.1 Official Plan

Kelowna 2040 Official Community Plan

In January 2022, Kelowna's 2040 Official Plan was adopted. This plan is designed for the growth scenario for 2040, which will see a projected 25,000 new units built in the city in the next two decades. Of that growth, 15% is intended for the Capri Landmark Urban Centre Area, with 76% expected to be multi-unit housing development.

The plan outlines the role of Urban Centres as the activity hubs characterized by the largest concentration of commercial uses, cultural services, and mix of high density residential development with a high quality public realm.

Per this plan, the site is located within the Capri Landmark Urban Centre. It is also subject to the Form and Character Development Permit Guidelines - Comprehensive Development Zone 26..

Response to OCP Policies

1835 Gordon Dr. is a forward-thinking proposal that responds to the future intentions and objectives of the 2040 Plan. The intensification of residential and commercial uses in this area is supported by the direction for Urban Centres in the new Official Plan.

Capri Street and Sutherland Ave are both designated "Mixed streets" in the Capri Landmark street character plan, but given the commercial focus at Gordon Drive and Harvey Avenue and the surrounding residential uses, these streets are proposed as having a strong residential quality though ground oriented town houses.

Given the direction in the 2040 Plan, the proposal for 1835 Gordon Dr. has a 23 storeys (up to 70 m) Tower and a 5 storey podium. The site also offers enhanced streetscaping, access to transit, and has a slender tower shape to mitigate view impacts and shadowing.

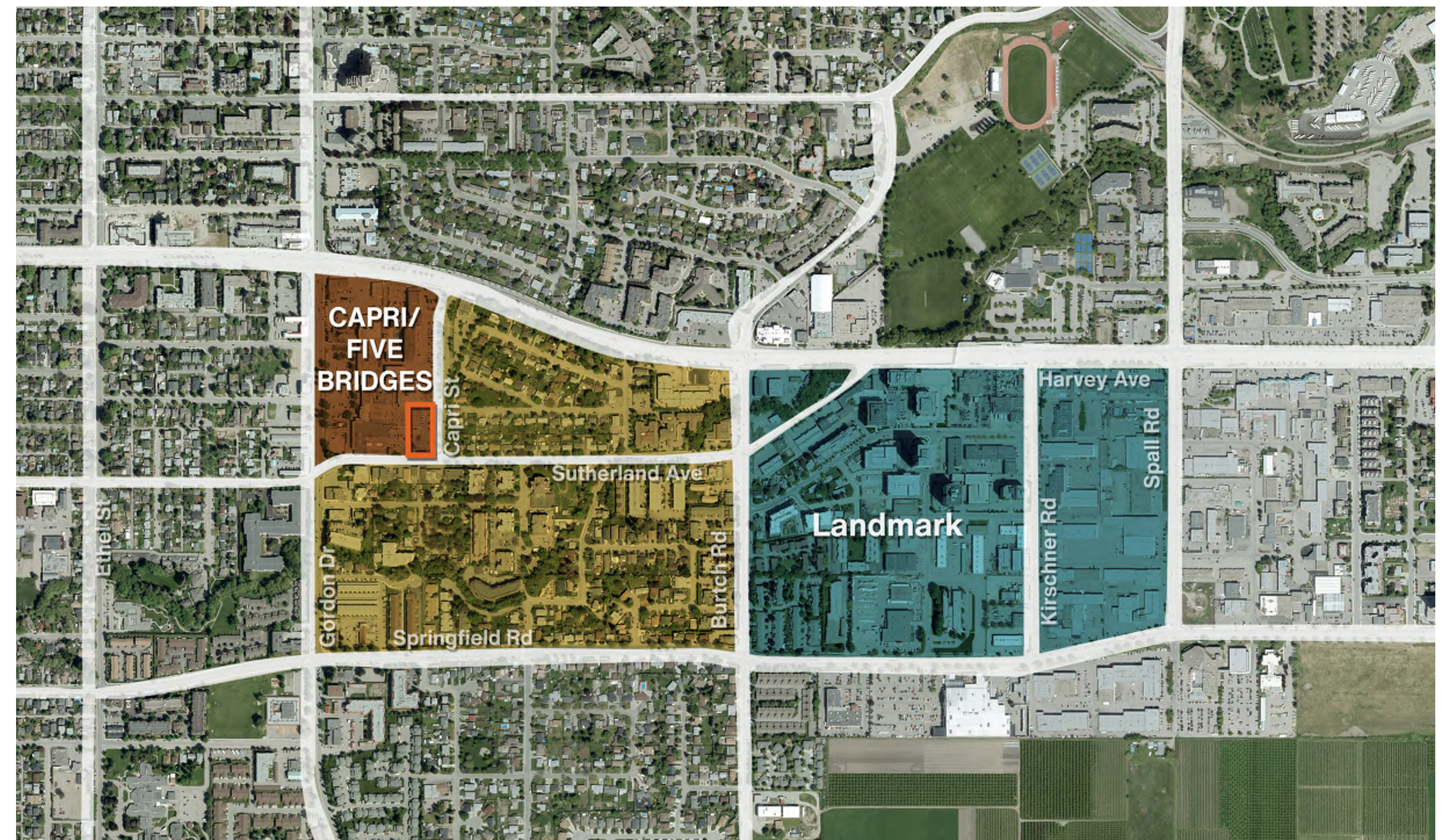
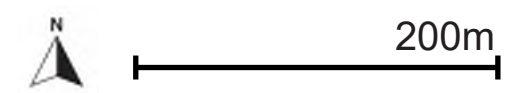


Figure 1-10: Capri-Landmark Urban Centre Boundary Map - OCP 2040



- Legend**
- Capri/Five Bridges Area
 - Capri Centre Mall
 - Landmark District
 - Landmark Towers Area
 - Subject Site

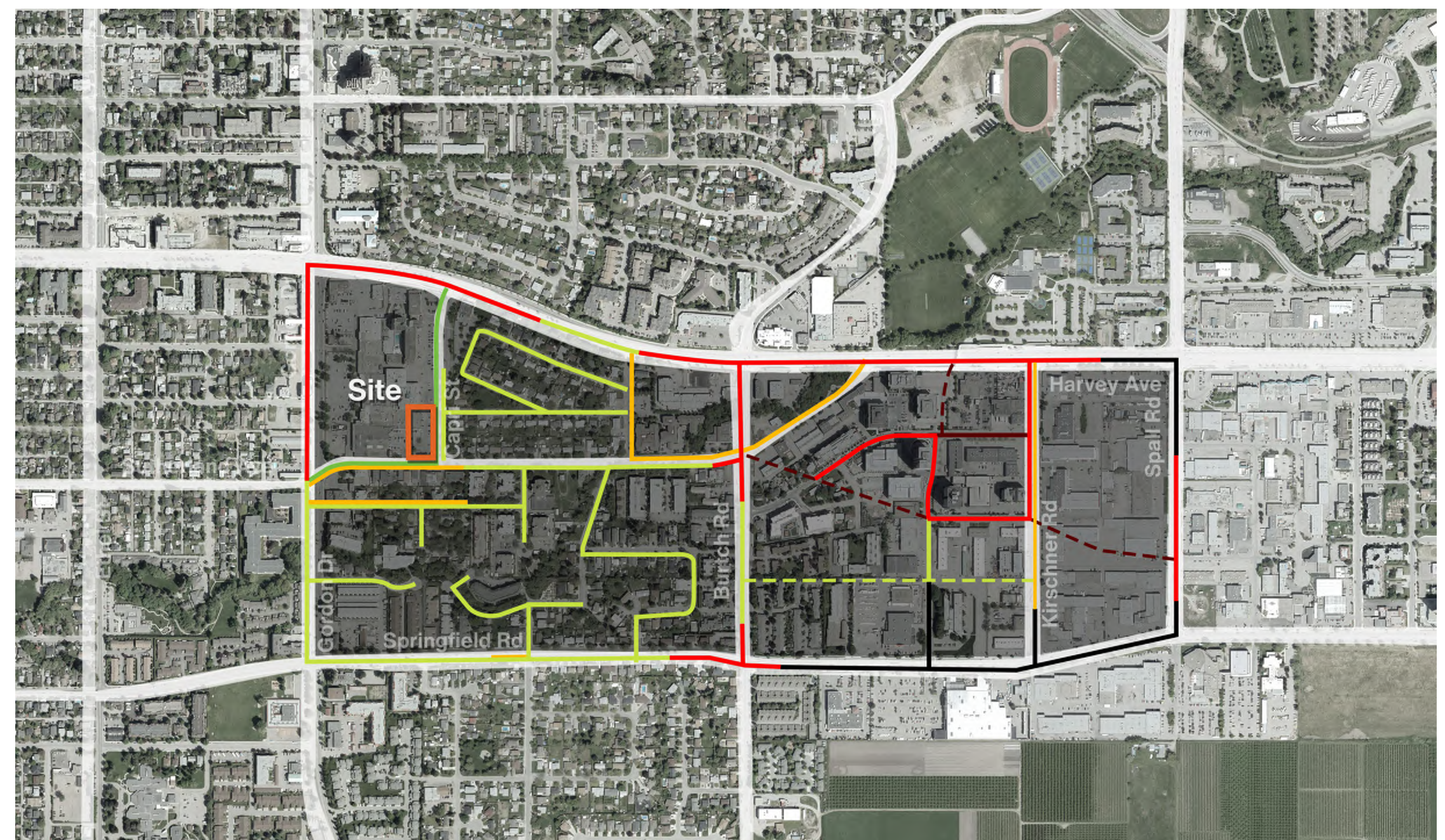
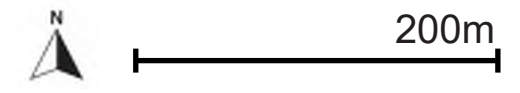


Figure 1-11: Capri - Landmark Street Character - OCP 2040



- Legend**
- Mixed Street
 - Residential Street
 - Mixed Residential Street
 - Retail Street
 - High Street
 - Service Commercial St.
 - Future Retail Street
 - Future Residential St.
 - Subject Site

3.2 Form & Character Guidelines

1835 Gordon Dr. falls under Kelowna's "Form and Character Development Permit Area." The 2040 OCP provides details about the foundations and guidelines for this area to ensure high quality urban design in buildings, streets, and open spaces. The Capri Centre area would have a "Residential Focus" character, but in all cases commercial uses are permitted as part of a mixed-use development, but given the commercial focus at Gordon Drive and Harvey Avenue and the surrounding residential uses, this character area is envisioned as having a strong residential quality. The Form and Character foundations are:

1. Continuous street tree planting and landscaped boulevards should characterize the public realm
2. Additional landscape areas between the sidewalk and building faces shall be provided
5. The majority of space in this area will be for residential uses including street-level "townhouse" style housing and condominium use in podium and tower forms. Allowance for small-scale neighbourhood serving retail along Sutherland Avenue is acceptable
6. All buildings should emphasize a high level of transparency at ground level
7. Weather protection shall be provided along the face of buildings where retail is present
8. Buildings should be oriented towards the street
9. Smaller-scaled figurative elements shall be used at lower-levels to break up the massing of the building
10. Rooftop spaces of podium elements (less than 14 storeys) shall not be left bare but should be utilized as amenity space for residents of each building or should incorporate a green roof
11. Landscape design in this area should employ a narrow range of species in order to unify the character area as a whole.

The concept for 1835 Gordon Dr. implements the guidelines for High-rise Residential & Mixed Use.

- Minimum 4.5m first floor height
- Transparent ground-floor frontages

- Structured parking located away from street frontages
- Parking screened to mitigate visual impact
- Podium frames street
- Slender, simple tower form to maximize sunlight to street
- Cohesive, balanced built form and architecture
- Distinct podium, tower, and top
- Break-up podium mass with facade articulation
- Corner plaza

By implementing the Form and Character Development Permit Area guidelines, the relationship between the building, the street, and the public realm improve. The results will be:

Relationship to Street

- Clear zones of activity along the surrounding sidewalks for frontages, pedestrians, plantings, and street edges
- Building entrances that are clearly defined and easy to find
- Weather protection

Scale and Massing, Site Planning

- Minimized shadow and view impacts
- Comfortable, human-scaled pedestrian experience
- Balanced blocks and skyline
- Privacy for residents
- A healthy, successful row of street trees
- Logical and cohesive streetscape portable, human-scaled pedestrian experience

Private Open Spaces

- Maximize access to sunlight
- Minimize noise, smell and/or visual impacts from site servicing or mechanical equipment
- Provide seating, lighting, trees, shade structures, and weather protection.

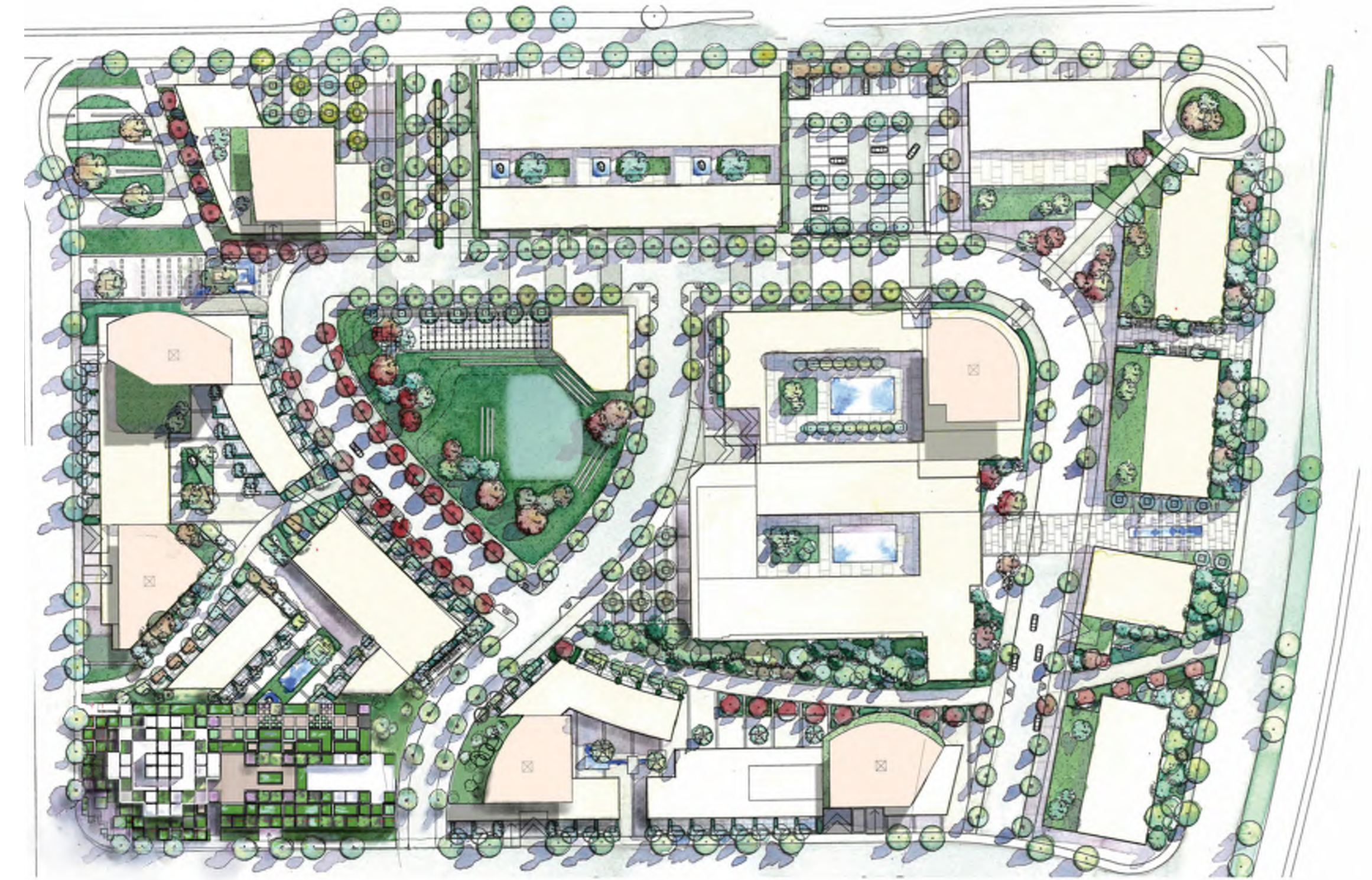


Figure 1-12: Capri Centre Concept Plan - Comprehensive Zone 26 - OCP 2040

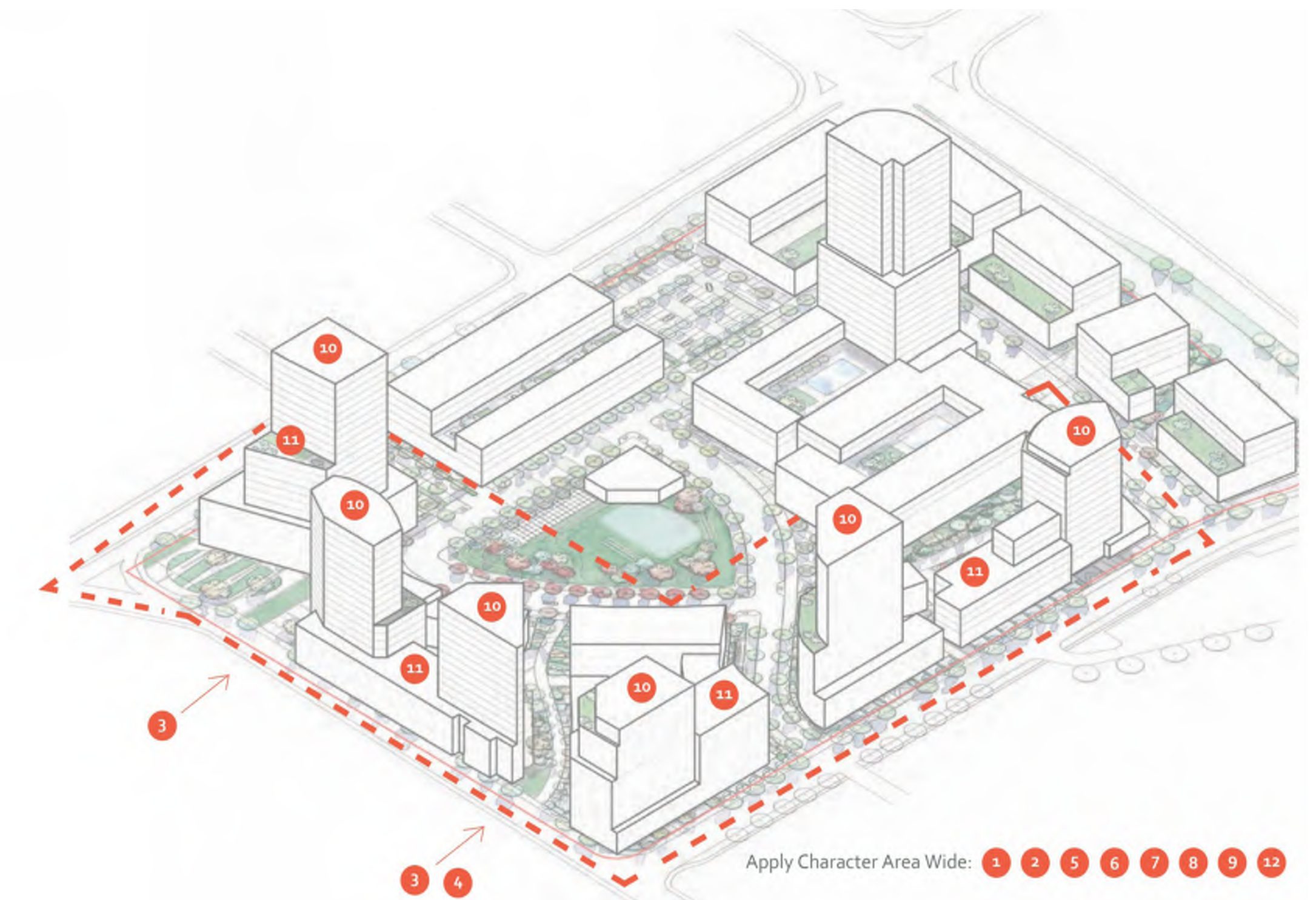


Figure 1-13: Capri Centre Concept 3d - Comprehensive Zone 26 - OCP 2040

3.4 Response to Zoning By-law

Zoning Bylaw No.: 12375 (2022)/ 8000 (2014)

A site wide rezoning was completed and adopted by the City of Kelowna in 2016: CD25 - Capri Centre Comprehensive Development Zone.

In September 2022, the City of Kelowna adopted Zoning Bylaw 12375 which included a revised CD26 Capri Centre Zoning.

As this project was in development prior to adoption of the new Zoning Bylaw a summary of both Section 14 (UC2), Section 15.7 CD 26 and CD25 is provided to clarify the zonings requirements negotiated with planning staff.

| Zoning Bylaw | Policy # | Section Name | Reg | Reg |
|--|--|---|---|--|
| CD25 | 1.14 | Parking and Loading | Residential Visitor Commercial Hotel Commercial Uses, excluding retail liquor sales establishments and grocery stores exceeding 1,858m2 (20,000 ft2) Grocery store exceeding 1,858m2 (20,000 ft2) | 1.0 space per 1 dwelling unit Of the required parking for residential uses, 1.0 space per 7 dwelling units 1.75 parking spaces per 100m2 GFA 1.0 space per 1 sleeping unit 1.0 space per building with a commercial use 2.0 spaces per grocery store exceeding 20,000 ft2 |
| Section 15.7: CD26 | | Purpose | 15.1.1 The purpose is to provide a zone which will allow for the creation of comprehensive site specific land use regulations on a specific site within the City where the circumstances are such that control by other zones would be inappropriate or inadequate, having regard to existing or future surrounding developments and to the interest of the applicant and the public. | |
| | 15.7.1 - Zone Purpose | 15.7.1 - Zone Purpose | The purpose is to provide the framework for the existing uses and for the re - development and use of the Capri Centre in stages, over time, with a mixture of commercial and residential uses that serve more than one neighbourhood | |
| Section 14: UC2 | 14.7.2 Sub-Zone Purpose | 14.7.2 Sub-Zone Purpose | N/A | |
| | 15.7.3 Permitted Land Uses | 15.7.3 Permitted Land Uses | Refer to bylaw, long list | |
| | 15.7.4 Subdivision Regulations | 15.7.4 Subdivision Regulations | Minimum lot width Minimum lot depth Minimum lot area Maximum FAR Maximum height | 13.0m 30.0m 460m ² 2.6 FAR Height requirements are as indicated in figure 15.7.5 and as described as below: (a) In the area located within 40 m of the lot line abutting Harvey Avenue and in all areas east of Capri Street the maximum height of all buildings and structures shall be 6 storeys or 22 m. (b) As described in the area located beyond 40 m of Harvey Avenue the maximum height of all buildings and structures shall be 22 storeys or 70 meters except one building or structure shall be a maximum of 26 storeys or 82 m. |
| | 15.7.5 Development Regulations | 15.7.5 Development Regulations | Maximum site coverage - all buildings Maximum site coverage buildings, structures, impermeable surfaces Minimum commercial areas Minimum common & private amenity space | 75% 100% 18,581m ² (2000,000ft ²) net floor area 6.0m ² per bachelor dwelling unit 10.m ² per 1 bedroom dwelling unit 15.0m ² per dwelling unit with more than 1 bedroom 1.5 Acres of public accessible open space shall be provided A minimum of 75% of the dwelling units (that are not ground-oriented) shall have a balcony. The minimum balcony area is 5% of the dwelling unit size. Any building fronting onto Gordon Drive or Harvey Avenue shall provide ground-floor commercial units, which must occupy a minimum of 90% of the street frontages. Access driveways or other portions of the street frontage not used as a building will not be considered for the purpose of this calculation. Any combination of commercial and residential uses is permitted above the ground-floor units. Any building fronting onto Capri Street or Sutherland Avenue can provide any combination of commercial and residential uses at the ground floor and above. For tower & podium regulations refer to Section 9.11 Tall Building Regulations (a) the minimum setback to Harvey Avenue is 4.5 m. (b) the minimum setback to Gordon Drive for all buildings or portions of the building located within 40 m of Harvey Avenue is 0.0 m (c) the minimum setback to Gordon Drive for all buildings or portions of the building located beyond 40 m of Harvey Avenue is 3.0 m, excluding decks and patios. (d) the minimum setback to Capri Street for all buildings or portions of the building located within 40 m of Harvey Avenue is 0.0 m. (e) the minimum setback to Capri Street for all buildings or portions of the building located beyond 40 m of Harvey Avenue is 3.0 m, excluding decks and patios. (f) the minimum setback to Sutherland Drive is 3.0 m, excluding decks and patios. (g) all portions of buildings above 6 storeys shall be setback a minimum of 6 m from Gordon Drive, Sutherland Avenue, and Capri Street. (h) the minimum setback to lands abutting the Capri Centre Lands is 7.5 m |
| | 15.1 | 15.1 | Minimum public open space Minimum balconies Minimum & maximum commercial or residential floor area based on fronting street type | |
| | | | Tall Buildings Minimum setbacks | |
| | 14.1 Categories | 14.1 Categories | UC2-Capri-Landmark Urban Centre | |
| | 14.3 Purpose | 14.3 Purpose | The purpose is to provide a mixed commercial and residential zone for developments within the Capri-Landmark Urban Centre that is consistent with and follows the Capri-Landmark Urban Centre Plan. | |
| | 14.9 Land Uses - UC2 | 14.9 Land Uses - UC2 | Refer to Policy 15.7.3 CD26 Permitted Land Uses | |
| | 14.10 Subdivision Regulation (UC2) | 14.10 Subdivision Regulation (UC2) | Minimum lot width Minimum lot depth Minimum lot area Maximum site coverage Maximum site coverage buildings, structures, impermeable surfaces Maximum density/height Minimum front yard & flanking side yards setbacks for all portions of a building that are not ground-oriented Minimum front yard & flanking side yards setbacks for ground-oriented, residential Minimum front yard & flanking side yards setbacks for ground-oriented, commercial Minimum building setback from front yard and flanking side yard Minimum side yard setback Minimum rear yard setback | 40.0m except 13.0m if site abuts a lane 30.0m 1,200m ² except 460m ² if site abuts a lane 100% or 85% 100% or 90% Refer to 14.14 3.0m 3.0m 2.0m n/a 0.0m 0.0m 6.0m ² per bachelor dwelling unit 10.m ² per 1 bedroom dwelling unit 15.0m ² per dwelling unit with more than 1 bedroom 1.6m when abutting an urban residential or rural residential zone 3.0m for portion of a building abutting a street above 16m or 4 storeys Buildings greater than 18.0m or 4.5 storeys on a corner, triangular setback 4.5m along lot lines at the first storey Any site within an urban entre larger than 1 acre with a building length larger than 100m shall provide an urban plaza at grade Refer to section 9.11 Tall Buildings Regulations |
| 14.11 Commercial and Urban Centre Zone Redevelopment Regulations (UC2) | 14.11 Commercial and Urban Centre Zone Redevelopment Regulations (UC2) | Minimum common & private amenity space Minimum accessory building or structures setback Upper floor setbacks Corner lot Urban plaza Tall buildings | The commercial and residential principal use floor area restriction is based on street type as defined in the City of Kelowna official Community Plan (See Maps 4.2 Downtown Streets, 4.4 Capri-Landmark Streets, 4.6 Pandosy Streets, 4.8 Rutland Streets, 4.10 Midtown Streets). Secondary uses are permitted in accordance with Section 14.9. Any building classified as a: High Streets or Retail Streets shall provide a ground commercial principal uses, which must occupy a minimum of 90% of the street frontage. Access driveways or other portions of the street frontage not used as a building will not be considered for the purpose of this calculation. Any Combination of commercial and residential principal uses is permitted above ground-floor. Mixed Streets can contain any combination of ground-floor commercial or residential principal uses at the ground-floor. Mixed Residential Streets can contain any combination of ground-floor commercial or residential principal uses. One hundred percent (100%) of the floor area above the ground-floor shall be residential principal use Residential streets can contain one hundred percent (100%) of the floor area as principal use. | |
| | | Minimum/ maximum commercial or residential floor based on fronting street type | | |

Figure 1-16: Summary of Policy Analysis

3.5 Design Rationale

1835 Gordon Dr. will consist of a single tower and podium, addressing Sutherland Ave and Capri St. with a plaza on the southeast corner. Six types of residential units will provide a mix of housing types and levels of affordability.

The site will not change or influence connectivity patterns, and retain the existing laneway on the north edge of the site. Above-ground parking is required due to the water table, it will be wrapped in a modern design using vine planting in key locations to soften the parkade facade towards Capri St.



Figure 1-22: Proposed vine planting over parkade Capri St facade

The architectural design is based on a square grid that provides simplicity, flexibility and a modular design which can be easily adapted to different unit layouts. This simplicity allows for easier construction and maintenance, as well as greater adaptability to changing tenant needs over time.

The grid helps to create a cohesive and visually appealing design that enhances the overall aesthetic of the building and helps to establish a sense of community among residents, as they share a common visual language that makes it easier to navigate and orient themselves within the building. The project offers an amenity on the podium roof for residents, as well as an opportunity for an "outdoor living room" lounge along the edge of the laneway as well.

The housing program will include 269 units. 6 Town houses, 38 two-bedroom + den apartments, 63 two-bedroom apartments, 64 one-bedroom + den apartments, 95 one-bedroom apartments and 3 studios. This mix provides a variety of levels of attainability, which will benefit the future residents of the Capri Landmark Urban Centre.



Figure 1-17: SE Corner Tower Rendering



Figure 1-20: SE Corner Tower Rendering



Figure 1-18: North East Rendering



Figure 1-21: East Podium Rendering

4 Sustainability Plan

4.1 Green Building Design Principles

In 2018, the City of Kelowna published its Community Climate Action Plan. This includes actions for advancing towards climate targets that are led by the city, though implementation can also happen by developers and community members as the city grows and changes.

1835 Gordon Dr. will contribute to each of the themes through its siting, planning, design, and operations. The measures taken to address these theme areas are listed on the next table.

| Kelowna's Community Climate Action Plan Themes | 1835 Gordon Dr. Response |
|--|---|
| 1. The Way We Get Around - providing options to reduce vehicle trips and accelerate transition to low carbon transportation options | <ul style="list-style-type: none"> • Located less than a 5-minute walk away from the Harvey Avenue, 1835 Gordon Drive will be accessible by multiple modes of transportation. • Pedestrian and cyclist amenities such as bike parking and comfortable, convenient pathways will encourage active transportation. • The proximity to mixed use areas and commercial shops and services will reduce vehicle trips. |
| 2. The Energy We Use in Our Buildings - improving energy performance and reducing GHG emissions in new and existing buildings. | <ul style="list-style-type: none"> • 1835 Gordon Drive will meet or exceed the standards of Kelowna's Energy Step Code 2. • Low-carbon building measures including locally manufactured materials and low-VOC emitting materials will be used where possible. • The buildings are designed to minimize air and heat transfer between units and the outside, and maximize daylight and views for regularly occupied spaces. • Energy efficient mechanical and electrical systems, including lighting and appliances, will be preferred in the building fit-out. • Specified common areas (stairwells and parking) will have occupancy sensors to limit the duration and/or intensity of operational lighting, and use LED bulbs. Outdoor lighting will be controlled by photocells and/or timers. |
| 3. The Waste We Create - increasing the diversion of waste from the landfill. | <ul style="list-style-type: none"> • Recycling facilities will be provided on site. |
| 4. Planning Our Community - managing energy and emissions by focusing growth in urban areas so residents and workers are located closer to transit and services. | <ul style="list-style-type: none"> • This key infill site is a positive opportunity to accommodate population growth within Kelowna's urban area, close to transit and services. |



COVER PAGE

| Development Permit - Sheet List | | |
|---------------------------------|-----------------------------------|------|
| Number | Sheet Name | Rev. |
| DP0.00 | COVER PAGE | A |
| DP0.01 | PROJECT STATISTICS | A |
| DP0.02 | SITE PHOTOS | A |
| DP0.03 | SURVEY | A |
| DP0.04 | SETBACK PLAN | A |
| DP0.05 | CAPRI MALL MASTERPLAN | A |
| DP0.06 | CAPRI MALL OVERALL SITE PLAN | A |
| DP0.07 | PROPOSED SITE PLAN | A |
| DP0.08 | MATERIAL BOARD | A |
| DP0.09 | CITY OF KELOWNA REQUIRMENTS | A |
| DP0.10 | SITE COVERAGE | A |
| DP1.01 | LEVEL P1 & MAIN FLOOR PLAN | A |
| DP1.02 | LEVEL 02 & 03 FLOOR PLAN | A |
| DP1.03 | LEVEL 04-05 & 06 FLOOR PLAN | A |
| DP1.04 | LEVEL 07-22 & 23 PH FLOOR PLAN | A |
| DP1.05 | MECHANICAL PH & ROOF PLAN | A |
| DP2.01 | EAST ELEVATION | A |
| DP2.02 | WEST ELEVATION | A |
| DP2.03 | NORTH & SOUTH ELEVATIONS | A |
| DP3.01 | BUILDING SECTIONS | A |
| DP3.02 | BUILDING SECTIONS | A |
| DP4.00 | 3D MASSING | A |
| DP4.01 | 3D MASSING | A |
| DP4.02 | 3D MASSING | A |
| DP5.01 | LEVEL P1 & MAIN FLOOR FAR PLANS | A |
| DP5.02 | LEVEL 02 & 03 FAR PLANS | A |
| DP5.03 | LEVEL 04-05 & 06 FAR PLANS | A |
| DP5.04 | LEVEL 07-22 & 23 PH FAR PLANS | A |
| DP6.01 | LEVEL 01 & 02 OPEN SPACE PLANS | A |
| DP6.02 | LEVEL 03 & 04 OPEN SPACE PLANS | A |
| DP6.03 | LEVEL 06 & 07-22 OPEN SPACE PLANS | A |
| DP6.04 | LEVEL 23 OPEN SPACE PLAN | A |

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KELOWNA, BC V1Y 1J4
NAME:
EMAIL:
PHONE: (250) 469-8500
CELL:

STRUCTURAL



BUSH BOHLMAN & PARTNERS
1500 W GEORGIA ST.
VANCOUVER, BC V6G 2Z6
NAME: MIKE MARIOTTO
EMAIL: MMARIOTTO@BUSHBOHLMAN.COM
PHONE: (604) 688-9861
CELL:

ELECTRICAL



FALCON ENGINEERING LTD.
1715 DICKSON AVE. #210
KELOWNA, BC V1Y 9G6
NAME: BRUCE CANDLINE
EMAIL: BRUCE.CANDLINE@FALCON.CA
PHONE: (250) 762-9993
CELL:

CIVIL



APLIN & MARTIN CONSULTANTS
1258 ELLIS ST.
KELOWNA, BC V1Y 1Z4
NAME: JOSH GRAFF
EMAIL: JGRAFF@APLINMARTIN.COM
PHONE: (250) 448-0157
CELL:

MECHANICAL / ENERGY MODEL



FALCON ENGINEERING LTD.
1715 DICKSON AVE. #210
KELOWNA, BC V1Y 9G6
NAME: JUBAL WRIGHT
EMAIL: JUBAL.WRIGHT@FALCON.CA
PHONE: (250) 863-0178
CELL:

GEOTECHNICAL



GEO PACIFIC CONSULTANTS
1779 W 75th AVE.,
VANCOUVER, BC V6P 3T1
NAME:
EMAIL:
PHONE:
CELL:

LANDSCAPE



ECORA ENGINEERING &
2045 ENTERPRISE WAY.,
KELOWNA, BC V1Y 7S2
NAME: ACHIM MULLER
EMAIL: ACHIM.MULLER@ECORA.CA
PHONE: (250) 469-9757
CELL:



1353 Ellis Street - Suite 202
Kelowna BC V1Y 1Z9 Canada
tel 250 980 3432
www.arcadis.com



Capri Tower 1

1835 Gordon Dr, Kelowna, BC V1Y 3H5



Issued For: **Development Permit**

Project No: **125701**

Date: **Dec' 2023**

DP0.00

Capri Tower 1

January 11, 2024

PROJECT DESCRIPTION

PROJECT NAME: Capri Tower 1
PROJECT ADDRESS: 1835 Gordon Dr, Kelowna, BC V1Y 3H5
LEGAL DESCRIPTION: LOT A, B & C, DISTRICT LOT 137 O.D.Y.D PLAN KAP64836
ZONING: CD26
MAX ALLOWABLE FSR/FAR: 2.60
PROPOSED FSR/FAR: 0.68

PROJECT SETBACKS

Table with 5 columns: Setbacks, Required Min. at Grade, Proposed at Grade, Required Min. at Storeys, Proposed at 6 Storeys. Rows include Front Yard, Side Yard, Rear Yard.

SITE

FSR/FAR Analysis table with columns: Site Area (m²), Max FAR, Max Allowable FAR (m²).

Site Breakdown table with columns: Lot, M², FT². Rows include Lot A, Lot B, Lot C, Total Area.

PROPOSED AREA BREAKDOWN

Main table with columns: Level, Geodetic Elevation, Floor to Floor, Number of Units, Gross (m²), Exclusions (m²), FSR/FAR Area, Floorplate Efficiency, FSR/FAR (Commercial/Retail), FSR/FAR (Residential).

Suite Types table with columns: Level, Suite Types (Micro, Studio, 1 Bed, 1 Bed + Den, 2 Bed, 2 Bed + Den, 3 Bed), Total Number of Units.

FSR/FAR Proposed 17400.37
FSR/FAR Permitted 205805.60

Totals Breakdown table with rows: Existing Commercial Sq.m., Proposed Commercial Sq.m., Proposed Residential Sq.m., Total Amenity Sq.m., Proposed Total Gross Floor Area Sq.m., Total Commercial % of Project, Overall Building Efficiency, Total Net Saleable Sq.m.

VALUES FOR TABULATING PARKING & LOADING COUNTS

Table with columns: Imperial (ft²), Metric (m²). Rows: Commercial, Residential Units.

ZONING BYLAW PARKING REQUIREMENTS

Table with columns: Required Parking, Micro, Studio, 1 Bed, 2 Bed, 3 Bed, Visitor Parking, Commercial, Hotel.

OVERALL SITE - PARKING

Table with columns: Lot, Usage, Area (m²), Parking Calc., Req. Parking. Rows include Lot A, Lot B, Lot C.

PHASE 1 - PARKING

Table with columns: Type of Unit, Parking Calculation (# of Unit, # of Stalls). Rows include Micro/Studio, 1 Bed, 2 Bed, 3 Bed, Visitors, Residential Total, Commercial Total, Total.

Table with columns: Accessible Parking Calculation, No. of Parking Spaces On-Site, Accessible Stalls, Van Accessible Stalls, Commercial Parking Calculation, Total Parking Required for Phase 1, Total Parking Provided for Phase 1.

PHASE 1 PARKING BREAKDOWN

Table with columns: Residential (Regular, Small, Accessible, Van Accessible), Level 02, Level 01, Level P1, Totals, Parking Provided within Phase 1, Surface Parking On Overall Site, Total Parking Provided.

PHASE 1 BIKE PARKING BREAKDOWN

Table with columns: Long Term Residential Bikes, Short Term Residential Bikes, Long Term Commercial Bikes, Short Term Commercial Bikes, Required, Provided.

CD26 ZONING

PHASE 1 COMMON & PRIVATE AMENITY SPACE

Table with columns: Bylaw, Unit Count, Required Area Per Unit Type (M²), City Required Open Space. Rows include Table 15.7.5 Studio / Micro, Table 15.7.5 1 Bedroom, Table 15.7.5 2 Or More Bedrooms.

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ISSUES

Table with columns: No., DESCRIPTION, DATE. Rows include Development Permit, Development Permit Re-Submission.

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2024-01-12

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PROJECT

Capri Tower 1
1835 Gordon Dr, Kelowna, BC V1Y 3H5

PROJECT NO:

125701

DRAWN BY:

TL

CHECKED BY:

GM

PROJECT MGR:

GM

APPROVED BY:

LM

SHEET TITLE

PROJECT STATISTICS

SHEET NUMBER

DP0.01

ISSUE

B



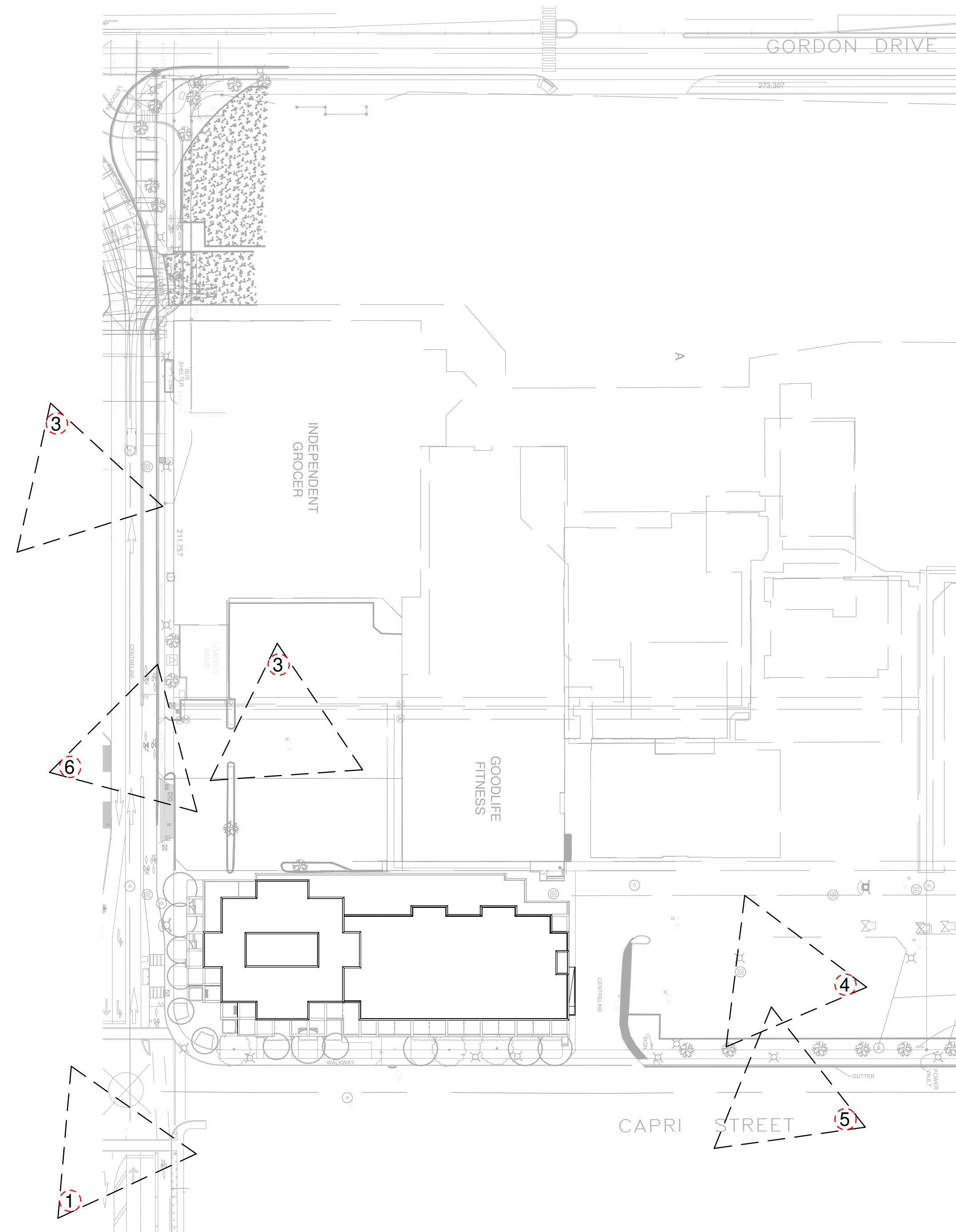
1. CORNER OF CAPRI ST & SUTHERLAND AVE. LOOKING NORTHWEST



2. LOOKING NORTHEAST DOWN SUTHERLAND AVE.



3. LOOKING EAST TOWARDS TOWER 1 SITE LOCATION



4. LOOKING SOUTH TOWARDS TOWER 1 SITE LOCATION



5. LOOKING SOUTH DOWN CAPRI ST TOWARDS TOWER 1 SITE LOCATION



6. LOOKING NORTHWEST TOWARDS PROPOSED SERVICE ROAD ENTRANCE

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 88 E Pender St Unit 500,
 Vancouver, BC V6A 3X3

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| A | Development Permit | Dec' 2023 |

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PROJECT
Capri Tower 1
 1835 Gordon Dr,
 Kelowna, BC V1Y 3H5

PROJECT NO:
125701

| | |
|---------------------------|---------------------------|
| DRAWN BY: TL | CHECKED BY: GM |
| PROJECT MGR: GM | APPROVED BY: LM |

SHEET TITLE
SITE PHOTOS

| | |
|-------------------------------|-------------------|
| SHEET NUMBER DP0.02 | ISSUE A |
|-------------------------------|-------------------|

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PROJECT

Capri Tower 1
 1835 Gordon Dr,
 Kelowna, BC V1Y 3H5

PROJECT NO:
 125701

DRAWN BY:
 TL

PROJECT MGR:
 GM

CHECKED BY:
 GM

APPROVED BY:
 LM

SHEET TITLE

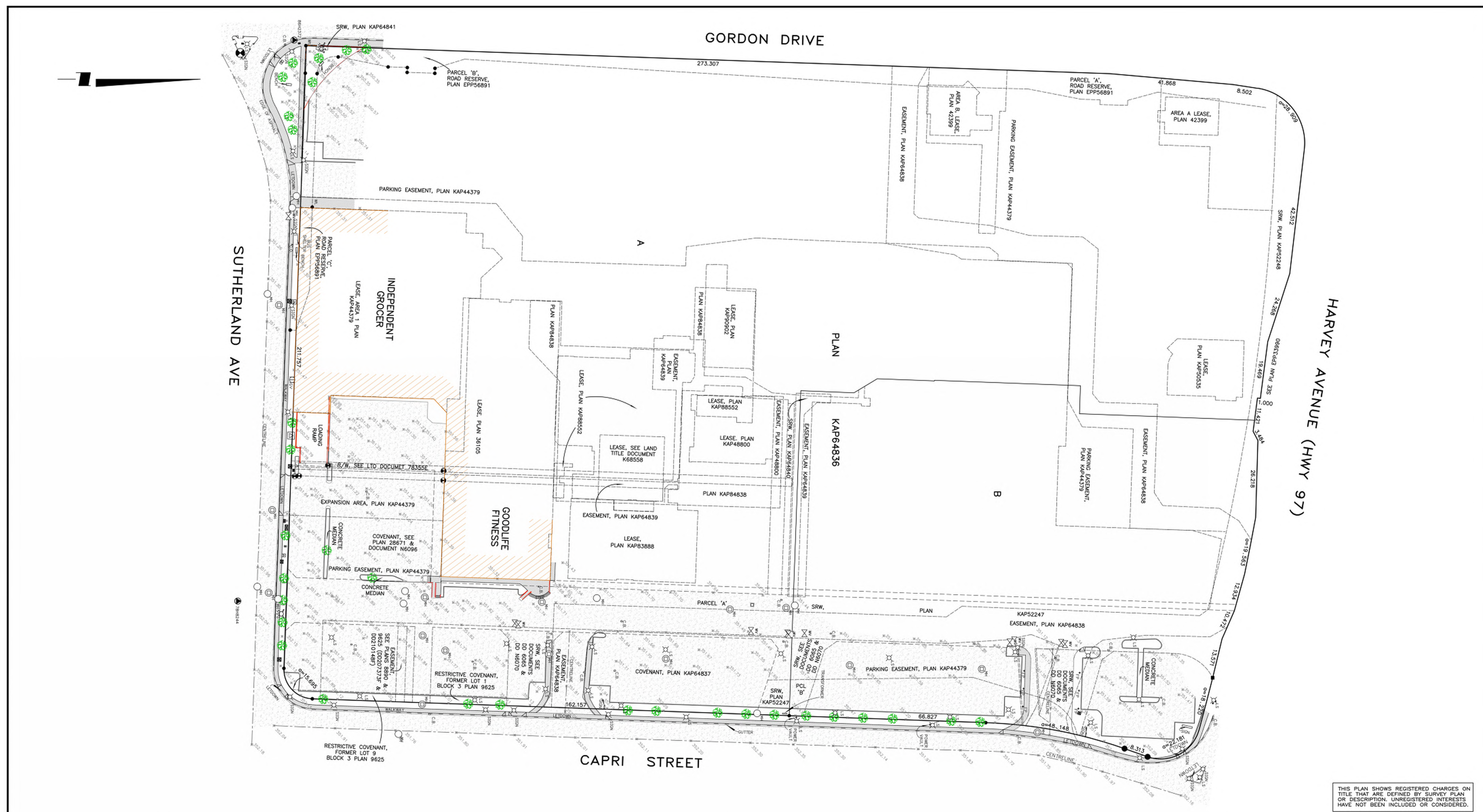
SURVEY

SHEET NUMBER

DP0.03

ISSUE

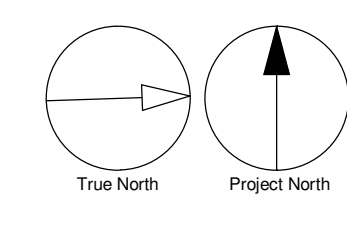
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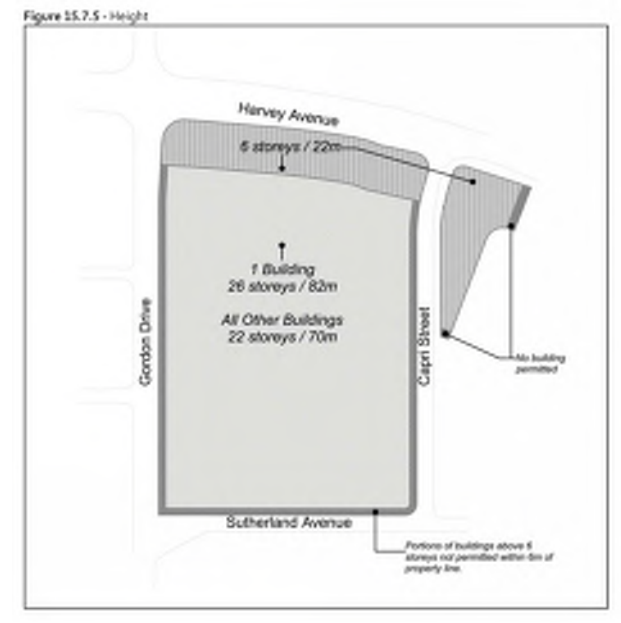
THIS PLAN SHOWS REGISTERED CHARGES ON TITLE THAT ARE DEFINED BY SURVEY PLAN OR DESCRIPTION. UNREGISTERED INTERESTS HAVE NOT BEEN INCLUDED OR CONSIDERED.

| LEGAL DESCRIPTION | CLIENT | LEGEND | NOTES | JOB NO. 22706-TOPO |
|--|---|--|--|---|
| LOT A AND B DISTRICT LOT 137 ODYD PLAN KAP64836 EXCEPT PLAN EPP33990 | GSL COMMUNITIES LIMITED PARTNERSHIP | <ul style="list-style-type: none"> SPOT HEIGHT IRON PIN FOUND LEAD PLUG FOUND CONTROL MONUMENT TREE FLAGPOLE LAMP STANDARD GAS METER WATER VALVE WATER SHUT OFF FIRE HYDRANT STORM MANHOLE BOLLARD STORM CATCH BASIN SANITARY SEWER CLEANOUT SANITARY SEWER MANHOLE PAD MOUNTED TRANSFORMER SIGN ASPHALT PAVEMENT WALKWAY PAVEMENT VAULT BUILDING WALL RETAINING WALL GUTTER CENTRELINE | <p>ELEVATIONS ARE GEODETIC AND ARE DERIVED FROM CITY OF KELOWNA CONTROL MONUMENT NUMBER 86H2372 (ELEVATION=350.30m)</p> <p>LOT DIMENSIONS ARE DERIVED FROM FIELD MEASUREMENTS AND LAND TITLE RECORDS.</p> <p>THIS PLAN IS FOR THE SOLE USE OF THE CLIENT FOR DESIGN PURPOSES ONLY AND IS NOT TO BE USED FOR RE-ESTABLISHMENTS OF PROPERTY LINES.</p> | <p>DATE: JULY 10, 2021</p> <p>SCALE: 1:900 METRES</p> |
| DRAWING TYPE | CIVIC ADDRESS | REVISION NO. | BY | DATE REVISED |
| TOPOGRAPHIC SITE PLAN | 1835 GORDON DRIVE, 1171 HARVEY AVENUE, KELOWNA | | | |

B.C. LAND SURVEYORS
 CANADA LANDS SURVEYORS
 Subdivision Design
 Legal, Topographic & GPS Surveys
 404-1630 Pandosy St., Kelowna, B.C. V1Y 1P7
 Telephone (250)763-3119 Fax (250)763-0321

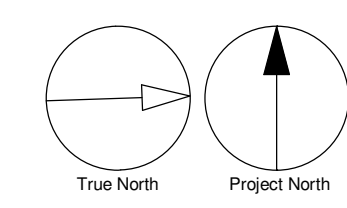


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| Section 15.7.5 - C23 Development Regulations | |
|---|--|
| Within Area A and C and Eqs 15.7.5.1 to 15.7.5.1.5: | |
| 6M Setbacks | <p>(a) the minimum setback to Harvey Road is 6.0 m;</p> <p>(b) the minimum setback to Gordon Drive for all buildings or portions of the building located within 40 m of Harvey Avenue is 6.0 m;</p> <p>(c) the minimum setback to Gordon Drive for all buildings or portions of the building located beyond 40 m of Harvey Avenue is 3.0 m, including decks and patios;</p> <p>(d) the minimum setback to Capri Street for all buildings or portions of the building located within 40 m of Harvey Avenue is 6.0 m;</p> <p>(e) the minimum setback to Capri Street for all buildings or portions of the building located beyond 40 m of Harvey Avenue is 3.0 m, including decks and patios;</p> <p>(f) the minimum setback to Sutherland Drive is 3.0 m, including decks and patios;</p> <p>(g) all portions of buildings above 3 stories shall be setback a minimum of 7.5 m from Gordon Drive, Sutherland Avenue, and Capri Street;</p> <p>(h) the minimum setback to lands adjoining the Capri Centre Lands is 7.5 m.</p> |
| PROPOSED DEVELOPMENT | <p>1 The maximum built area of buildings in the C23 zone is 305,807 m² (2,215,207 ft²). The maximum commercial area is to be calculated by combining the total commercial area (excluding all commercial area under approval).</p> <p>The applicant shall prepare and provide consent with substantial new construction in a development stage and all the amount of Setback Part of this being registered on the planning public access and easements.</p> <p>2 Commercial and Public Amenity Space can be devoted to child care centres as long as the child care spaces have child access to open space and other areas within the site. The amount of Commercial and Public Amenity Space devoted to child care centres cannot be more than 30% of the total space reserved.</p> |

1 SITE PLAN - SETBACK PLAN
DP0.04 SCALE: 1/64" = 1'-0"



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 Vancouver, BC V6A 3X3

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ecora

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SEAL

REGISTERED ARCHITECT
 LAUREN MACCALLUM
 BRITISH COLUMBIA
 2023-12-18

PRIME CONSULTANT

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 tel 250 980 3432
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PROJECT

Capri Tower 1
 1835 Gordon Dr,
 Kelowna, BC V1Y 3H5

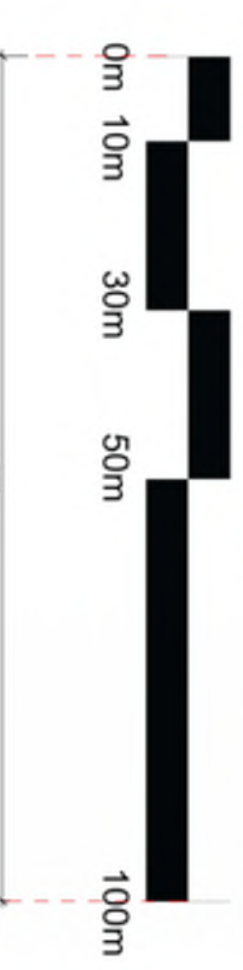
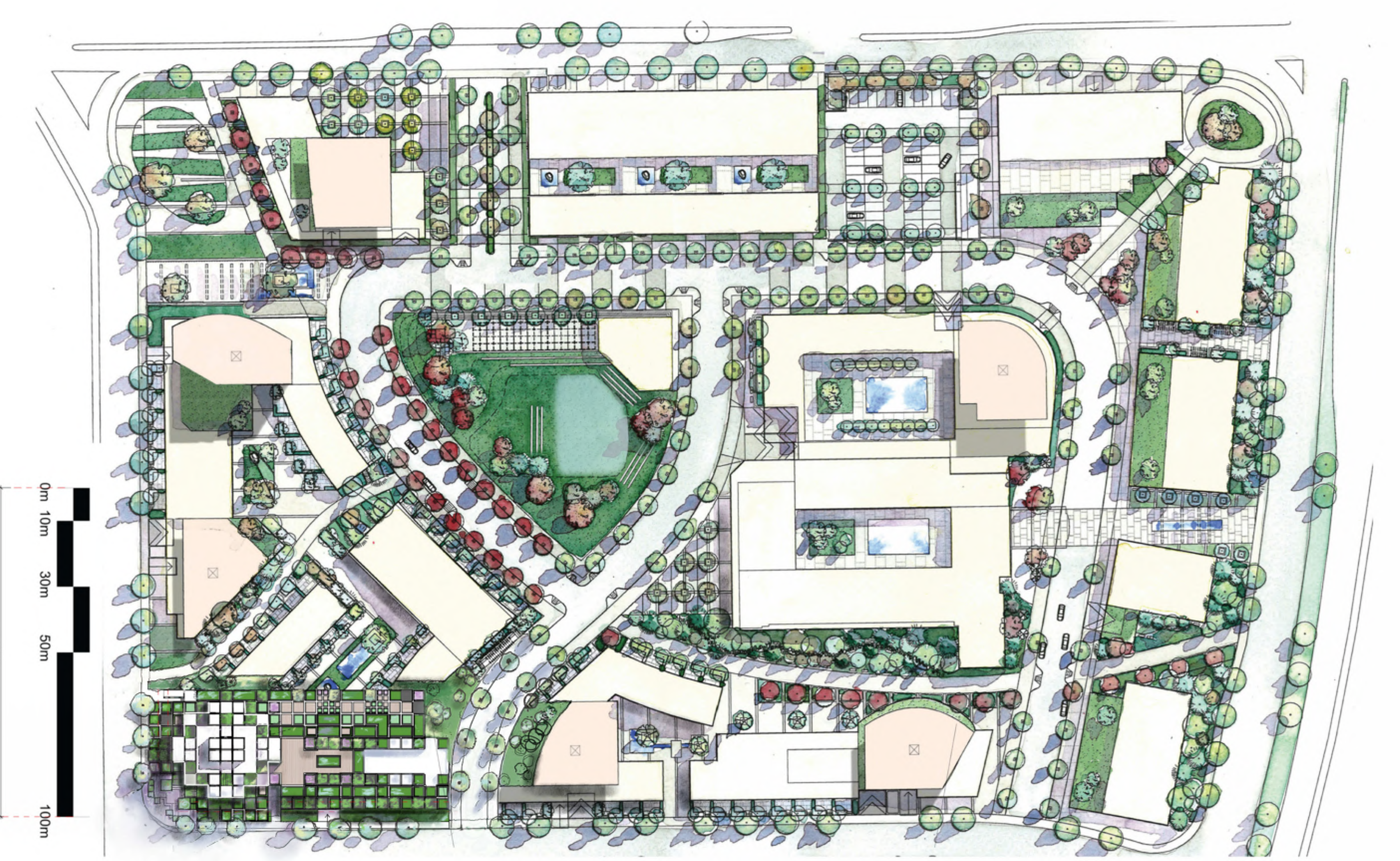
PROJECT NO:
125701

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| PROJECT MGR: GM | APPROVED BY: LM |

SHEET TITLE
SETBACK PLAN

| | |
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| SHEET NUMBER DP0.04 | ISSUE A |
|-------------------------------|-------------------|

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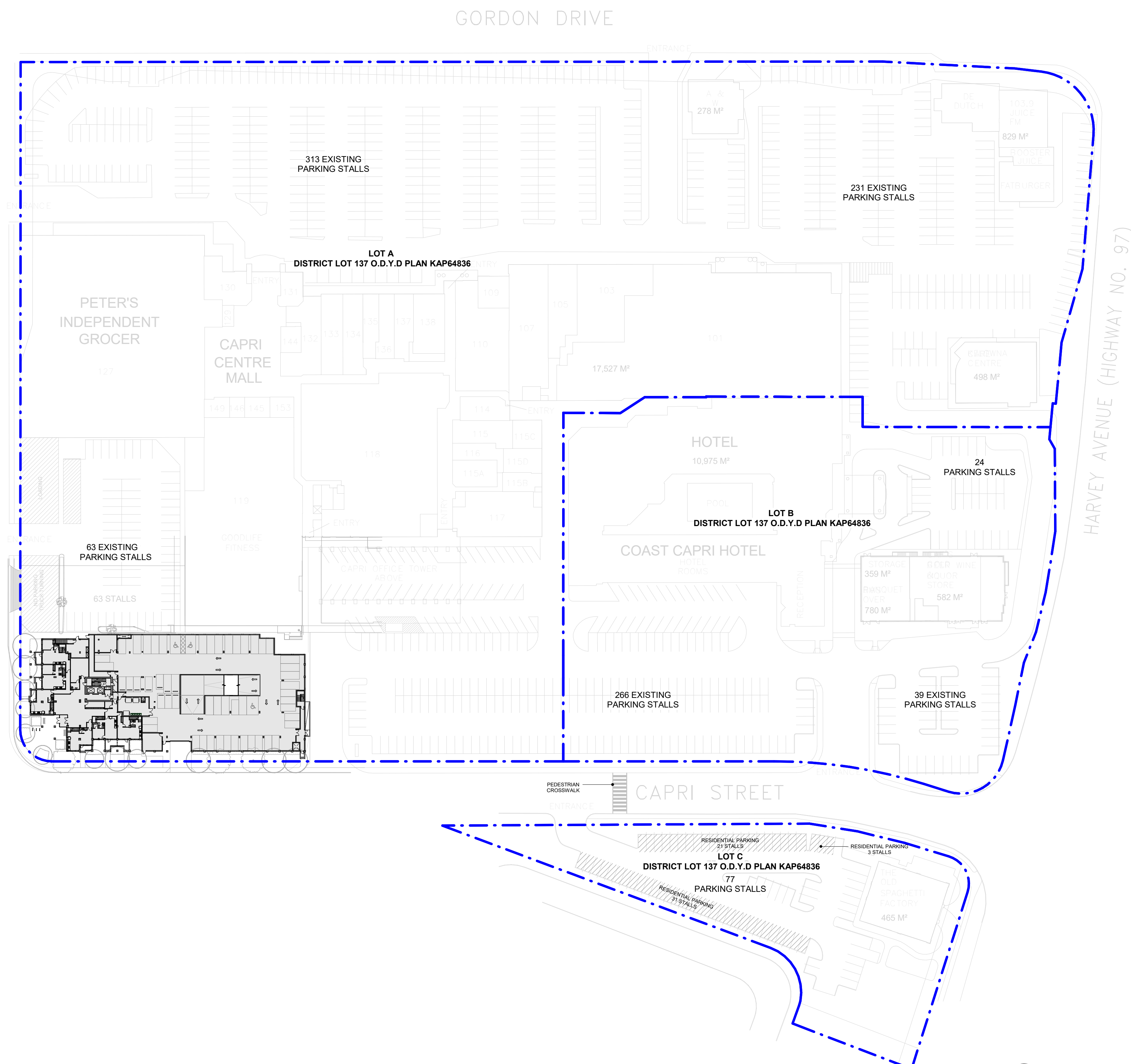
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PROJECT
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 1835 Gordon Dr,
 Kelowna, BC V1Y 3H5

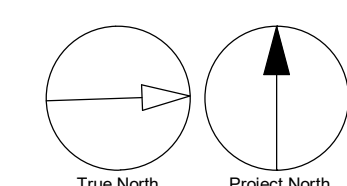
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| PROJECT NO: 125701 | CHECKED BY: GM |
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| PROJECT MGR: GM | |

SHEET TITLE
CAPRI MALL MASTERPLAN

| | |
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| SHEET NUMBER DP0.05 | ISSUE A |
|-------------------------------|-------------------|



1 OVERALL SITE PLAN
SCALE: 1/64" = 1'-0"



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| B | Development Permit Re-Submission | Jan' 2024 |

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tel 250 980 3432
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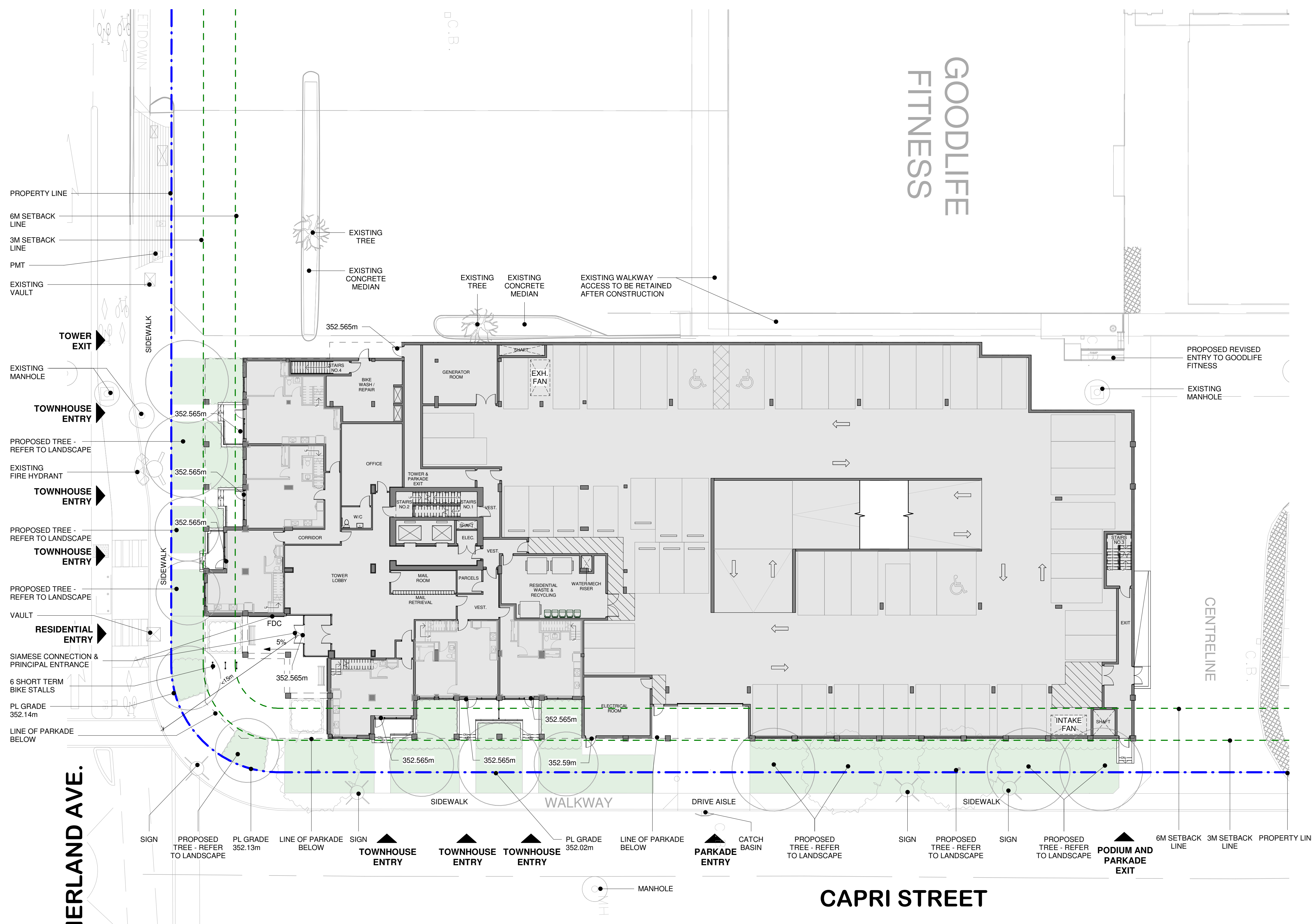
PROJECT
Capri Tower 1
1835 Gordon Dr,
Kelowna, BC V1Y 3H5

PROJECT NO:
125701
DRAWN BY: TL
PROJECT MGR: GM
CHECKED BY: GM
APPROVED BY: LM

SHEET TITLE
CAPRI MALL OVERALL SITE PLAN

| | |
|-------------------------------|-------------------|
| SHEET NUMBER DP0.06 | ISSUE B |
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REGISTERED ARCHITECT
 LAUREN MACCALLUM
 BRITISH COLUMBIA
 2023-12-18

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PROJECT
Capri Tower 1
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PROJECT NO:
 125701
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 PROJECT MGR: **GM** APPROVED BY: **LM**

SHEET TITLE
PROPOSED SITE PLAN

SHEET NUMBER **DP0.07** ISSUE **A**

1 PROPOSED SITE PLAN
 DP0.07 SCALE: 1/16" = 1'-0"

True North
 Project North

2023-12-15 11:41:03 AM

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TOWER MATERIALS

- METAL PANEL: OFF WHITE
- METAL PANEL: GREY
- EIFS: GREY

MATERIAL BOARD

PROJECT MATERIALS

- SPANDREL PANEL: OFF WHITE
- SPANDREL PANEL: BLUE
- MULLION COLOR: CHARCOAL GREY

PODIUM MATERIALS

- METAL PANEL: OFF WHITE
- EIFS: GREY
- METAL PANEL: GREY



- CONCRETE: PAINTED GREY
- CONCRETE: PAINTED WHITE
- HORIZONTAL METAL LOUVRES: BROWN
- SPANDREL: BLUE

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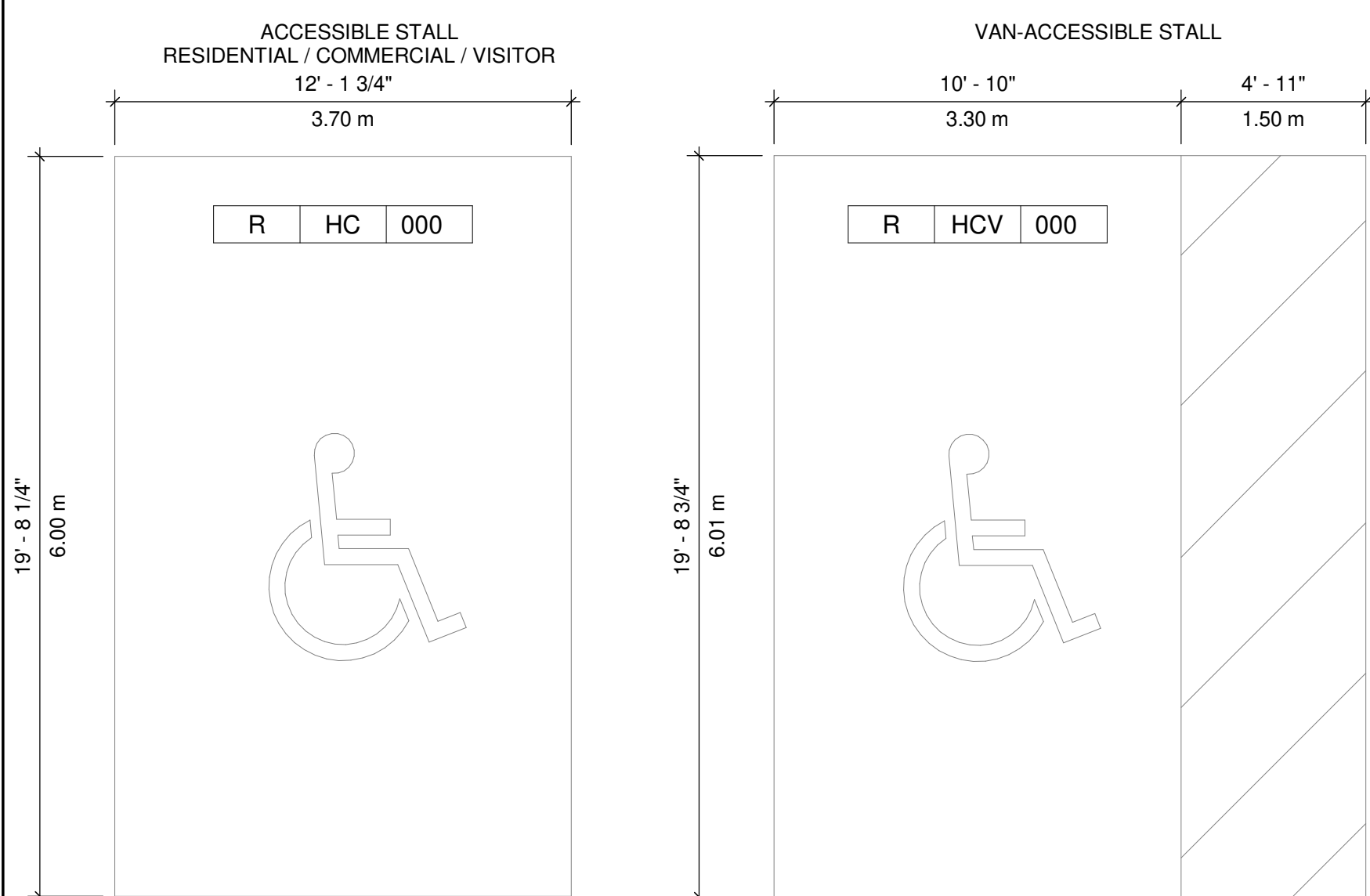
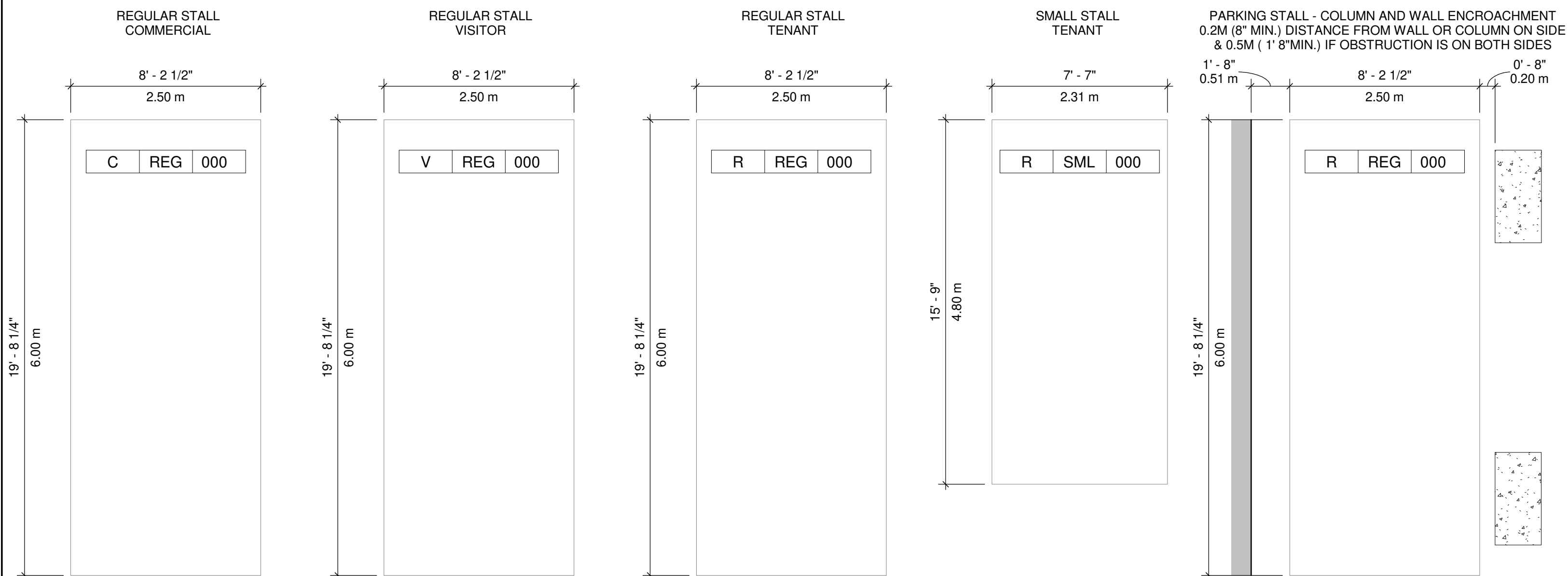
PROJECT
Capri Tower 1
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PROJECT NO: 125701
 DRAWN BY: TL
 PROJECT MGR: GM
 CHECKED BY: GM
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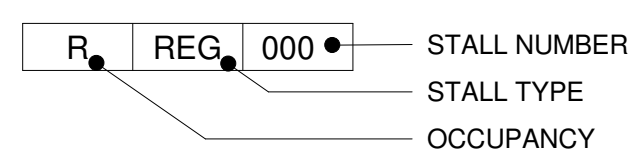
SHEET TITLE
MATERIAL BOARD

SHEET NUMBER: **DP0.08** ISSUE: **A**

CITY OF KELOWNA VEHICULAR STANDARDS



PARKING TAG



OCCUPANCY LEGEND

- C COMMERCIAL
- R RESIDENTIAL
- V VISITOR
- C/V COMMERCIAL / VISITOR (SHARED)
- R/V RESIDENTIAL & VISITOR (SHARED)
- RT RETAIL
- EV ELECTRIC VEHICLE
- CS CAR SHARE

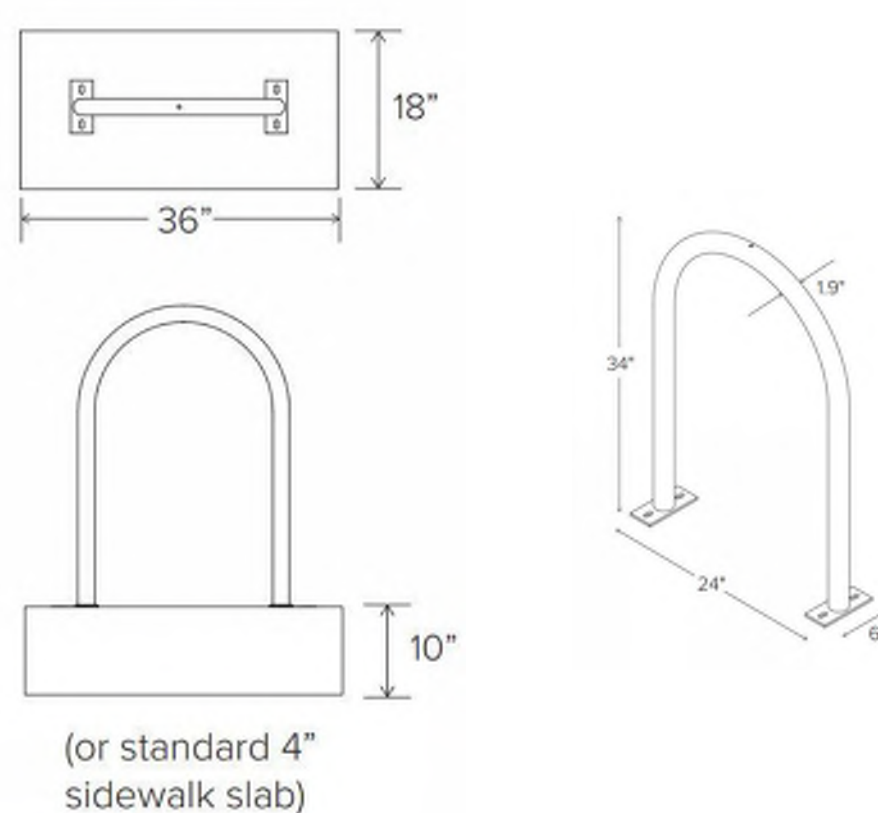
STALL TYPE

- REG REGULAR
- SML SMALL VEHICLE
- HC HANDICAP
- HCV HANDICAP VAN
- L LOADING
- T TANDEM

BYLAW 8.2.16: WHERE A DEVELOPMENT CONSISTS OF A MIX OF USE CLASSES, THE TOTAL OFF-STREET PARKING REQUIREMENT SHALL BE THE SUM OF THE OFF-STREET PARKING REQUIREMENTS FOR EACH USE CLASS.

(A) NOTWITHSTANDING SECTION 8.2.16, IN MIXED-USE DEVELOPMENTS THE PARKING SPACES REQUIRED FOR OFFICES AND OTHER COMMERCIAL RELATED LAND USES CAN BE SHARED WITH THE RESIDENTIAL VISITOR PARKING REQUIREMENTS. PARKING SPACES MUST BE AVAILABLE FOR BOTH LAND USES COMMERCIAL AND VISITOR AT ALL TIMES.

SURFACE MOUNT



BYLAW 8.5.5: SHORT-TERM BICYCLE PARKING STANDARDS:
 (A) SHORT-TERM BICYCLE PARKING MUST BE CONVENIENTLY LOCATED WITHIN: 15 METRES OF ANY MAIN ENTRANCES (WHETHER INSIDE OR OUTSIDE OF THE BUILDING), A WELL-LIT AREA, CLEARLY VISIBLE TO VISITORS, AND SUBJECT TO CASUAL SURVEILLANCE BY OCCUPANTS OF THE BUILDING(S).
 (B) SHORT-TERM BICYCLE PARKING SPACES SHALL BE PROVIDED IN A BICYCLE RACK THAT IS PERMANENTLY ANCHORED TO THE GROUND OR A WALL.
 (C) DESIGN AND INSTALL SHORT-TERM BICYCLE PARKING TO THE MINIMUM DIMENSIONS SHOWN IN TABLE 8.5.1 MINIMUM DIMENSIONS FOR BICYCLE PARKING AND ILLUSTRATED IN FIGURE 8.5.1

BYLAW 8.5.7: BICYCLE RACKS SHALL BE:
 (A) CONSTRUCTED OF THEFT RESISTANT MATERIAL;
 (B) SECURELY ANCHORED WITH TAMPER-PROOF HARDWARE TO THE FLOOR, BUILDING, OR GROUND;
 (C) CONSTRUCTED TO SUPPORT FROM TWO POINTS ON THE BICYCLE FRAME FOR A HORIZONTAL RACK; AND
 (D) CONSTRUCTED TO ENABLE THE BICYCLE FRAME AND AT LEAST ONE WHEEL TO BOTH BE SECURELY LOCKED TO THE RACK WITH A SINGLE U-STYLE LOCK.

LAYOUT PER FIGURE 8.5.2 - LONG-TERM BICYCLE PARKING CONFIGURATIONS EXAMPLES

LONG TERM BIKE STORAGE LEGEND

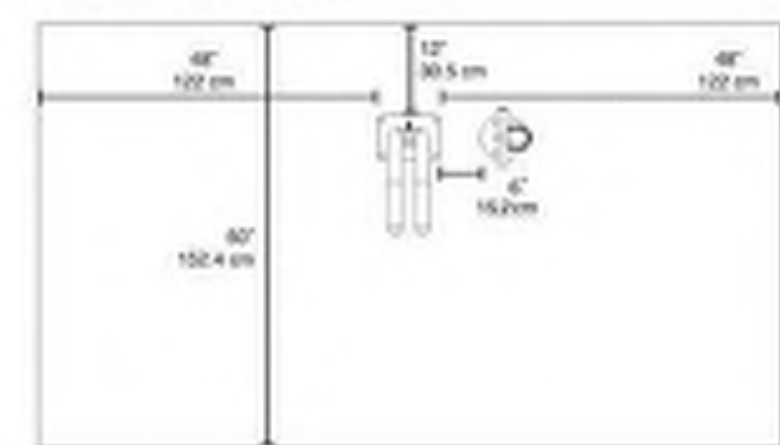


SHORT TERM BIKE STORAGE LEGEND

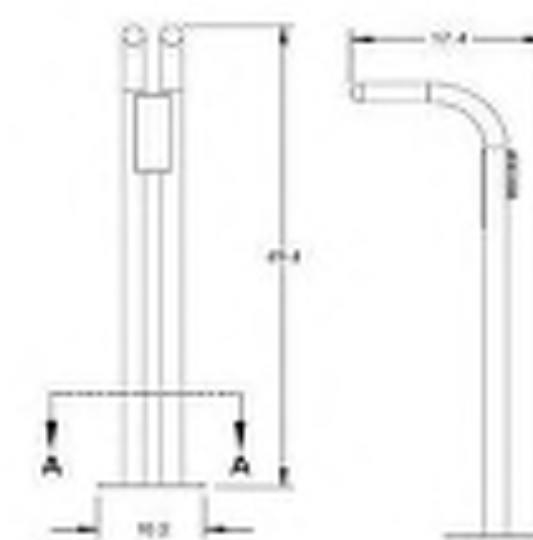


Public Work Stand

Recommended Setbacks



- Site Layout:
- Minimum of 48" from side of Public Work Stand to wall or other objects
 - Minimum of 12" from back of Public Work Stand to wall
 - Minimum of 6" between Public Work Stand and Pump
 - Minimum of 60" from perpendicular street
 - Minimum of 96" from parallel street

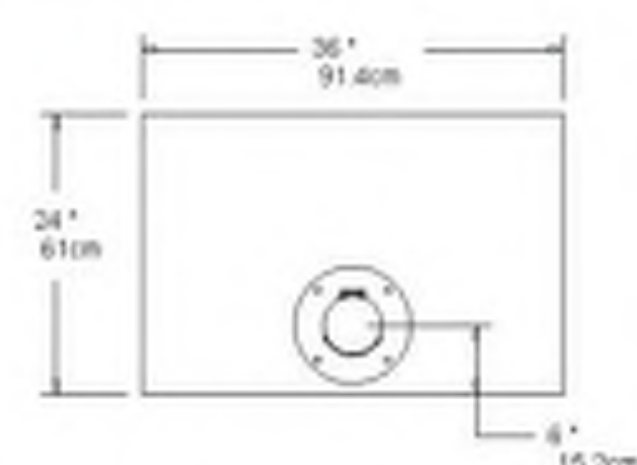


Product Specifications

- Universal bike mounting - hang by seat or top tube
- Nine common bicycle tools tethered by stainless steel aircraft cable
- Unique I-beam design eliminates possibility of locking a bike to the station
- ADA-compliant design
- QR code link to maintenance instructions for viewing from smart phone
- Installation hardware included

Bike Wash Station

Recommended Setbacks

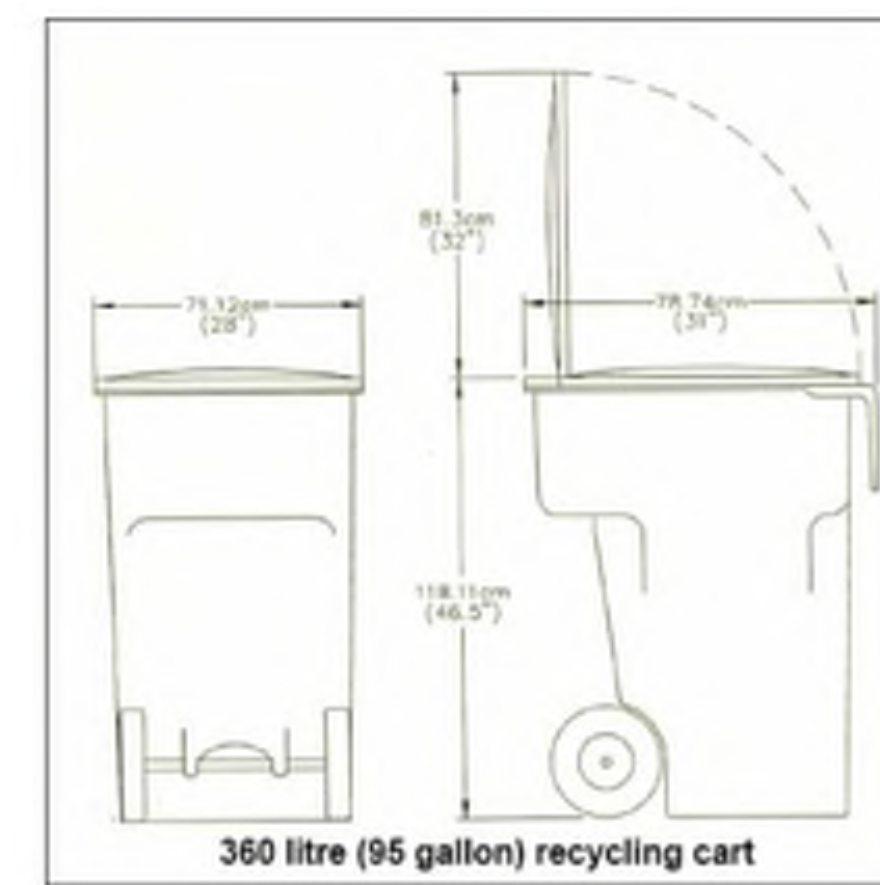
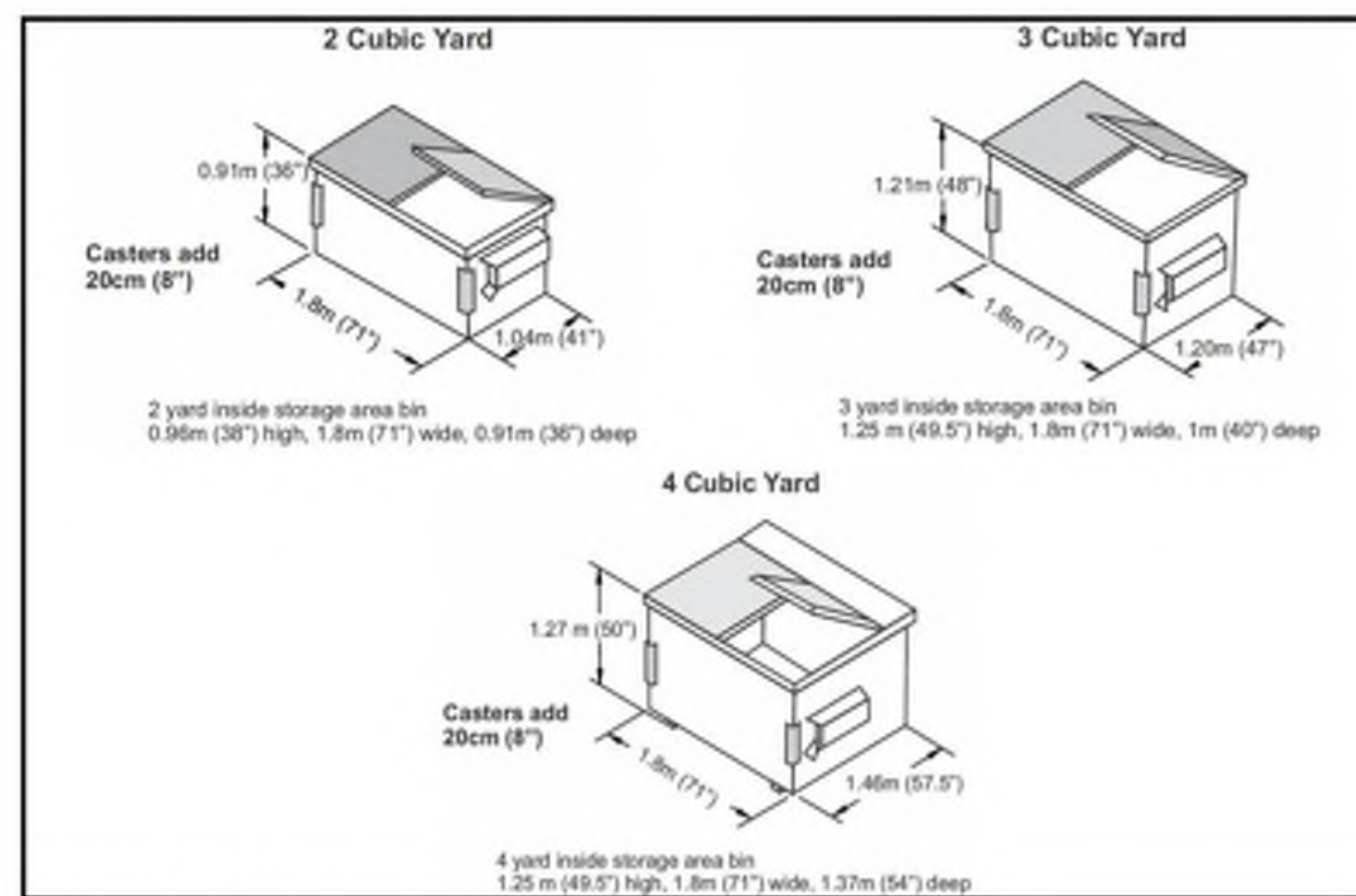


The minimum space requirements for the Wash Station depend on whether there is a Wheel Check, Public Work Stand, or Deluxe Public Work Stand installed.



Product Specifications

- Includes vandal-resistant hose and nozzle with stainless steel fittings
- HPLC (High Velocity Low Consumption) nozzle optimized for strong cleaning power without damaging bicycle bearings while also minimizing water usage
- Vandal-proof auto shut off water valve prevents wasted water
- Cleaning brushes attached by braided stainless steel cable to prevent theft
- Requires municipal water and sanitary drain or dry well hookup (check local codes)
- System is compliant with ADA, EPA, and Public Law 111-380 (No Lead) requirements



| TYPICAL COLLECTION TRUCK DIMENSIONS (APPROX.) | |
|---|-------------------|
| LENGTH | • 10.0 M - 12.4 M |
| WIDTH | • 3.2 M |
| MIN. INSIDE TURNING RADIUS | • 10 M |
| MIN. OUTSIDE TURNING RADIUS | • 12.8 M |
| HEIGHT CLEARANCE | • 6.5 M - 7.5 M |
| WIDTH CLEARANCE | • 4.0 M |
| LENGTH CLEARANCE | • 15.2 M |

| WASTE ROOM DESIGN | |
|-------------------|--|
| CONCRETE PAD | - ABLE TO WITHSTAND 28,000 KG COLLECTION VEHICLE |
| DRAINAGE | - DRAIN TO SANITARY SEWER, OIL SEPARATOR REQUIRED |
| DOOR | - DOUBLE DOORS WITH A MIN. 2M OPENING - CAN BE PROPPED OR LOCKED OPEN WITH A BUMPER GUARD ON THE INSIDE FACING THE DOOR |
| ELECTRICITY | - POWER SHALL BE PROVIDED FOR EQUIPMENT INSIDE THE AMENITY |
| LIGHTING | - ADEQUATE LIGHTING AROUND AND INSIDE AMENITY AS REQ. BY KELOWNA BY-LAW |
| HOSE BIB | - AT LEAST ONE (1) HOSE CONNECTION FOR CLEANING THE AREA |
| VENTILATION | - RELEASE ODOUR/STALE AIR |

GENERAL NOTES - WASTE MANAGEMENT

1. THE ARCHITECT IS NOT RESPONSIBLE FOR INFORMATION CONCERNING THE SITE AND SURVEY INFORMATION PREPARED BY OTHERS.
2. THE CONTRACTOR SHALL SITE VERIFY THE SURVEY INFORMATION PRIOR TO PROCEEDING WITH THE WORK. FAILURE TO REPORT ANY DISCREPANCIES SHALL CONSTITUTE ACCEPTANCE OF THE SITE CONDITIONS.
3. THE CONTRACT DOCUMENTS PREPARED BY THE ARCHITECT ARE THE ARCHITECT'S COPYRIGHT PROPERTY AND SHALL BE RETURNED TO THE ARCHITECT UPON REQUEST. REPRODUCTION OF CONTRACT DOCUMENTS IN WHOLE OR IN PART IS FORBIDDEN WITHOUT THE ARCHITECT'S WRITTEN PERMISSION.
4. SCOPE OF WORK SHALL NOT BE LIMITED TO THAT SHOWN ON THE DRAWINGS AND SHALL INCLUDE WORK REQUIRED TO ELIMINATE ALL EXISTING, ABANDONED OR REDUNDANT COMPONENTS, AND TO FACILITATE PROPER EXECUTION OF THE WORK.
5. PER WASTE MANAGEMENT RECOMMENDATIONS, EACH RESIDENTIAL BUILDING SHOULD CONSIST OF (2) 4-YARD CO-MINGLED RECYCLING BINS AND (2) 4-YARD GARBAGE BINS. EACH OF THESE WILL BE SERVICED 2X PER WEEK. REFER TO BIN DIAGRAM ON SHEET FOR DIMENSIONS.
A. PROVISION: ADDITIONAL 96 GALLON TOTES FOR FUTURE RECYCLING NEEDS.
6. PER WASTE MANAGEMENT RECOMMENDATIONS, EACH COMMERCIAL WASTE ROOM SHOULD CONSIST OF (2) 4-YARD CO-MINGLED RECYCLING BINS AND (2) 4-YARD GARBAGE BINS. EACH OF THESE WILL BE SERVICED 1X PER WEEK. REFER TO BIN DIAGRAM ON SHEET FOR DIMENSIONS.

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 125701

DRAWN BY:
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CHECKED BY:
GM

PROJECT MGR:
GM

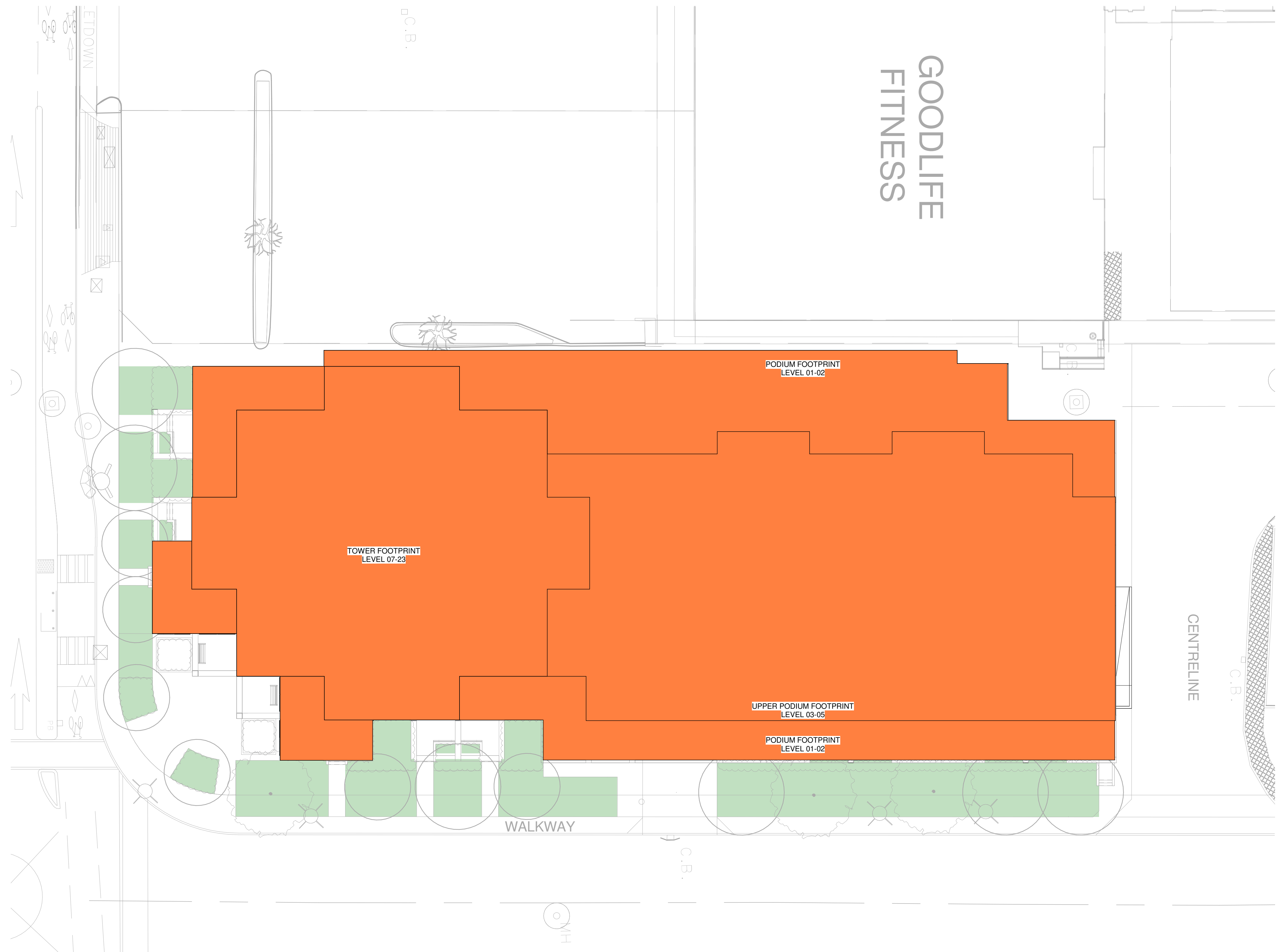
APPROVED BY:
LM

SHEET TITLE
CITY OF KELOWNA REQUIREMENTS

SHEET NUMBER
DP0.09

ISSUE
A

| Site Coverage Calculation | | | | |
|---------------------------|-----------------|----------------------|-----------------|--------------------|
| Foot Print (ft²) | Foot Print (m²) | Gross Site Area (m²) | Site Coverage % | Max Lot Coverage % |
| 31437 SF | 17523 m² | 79157 m² | 22.1% | 75% |



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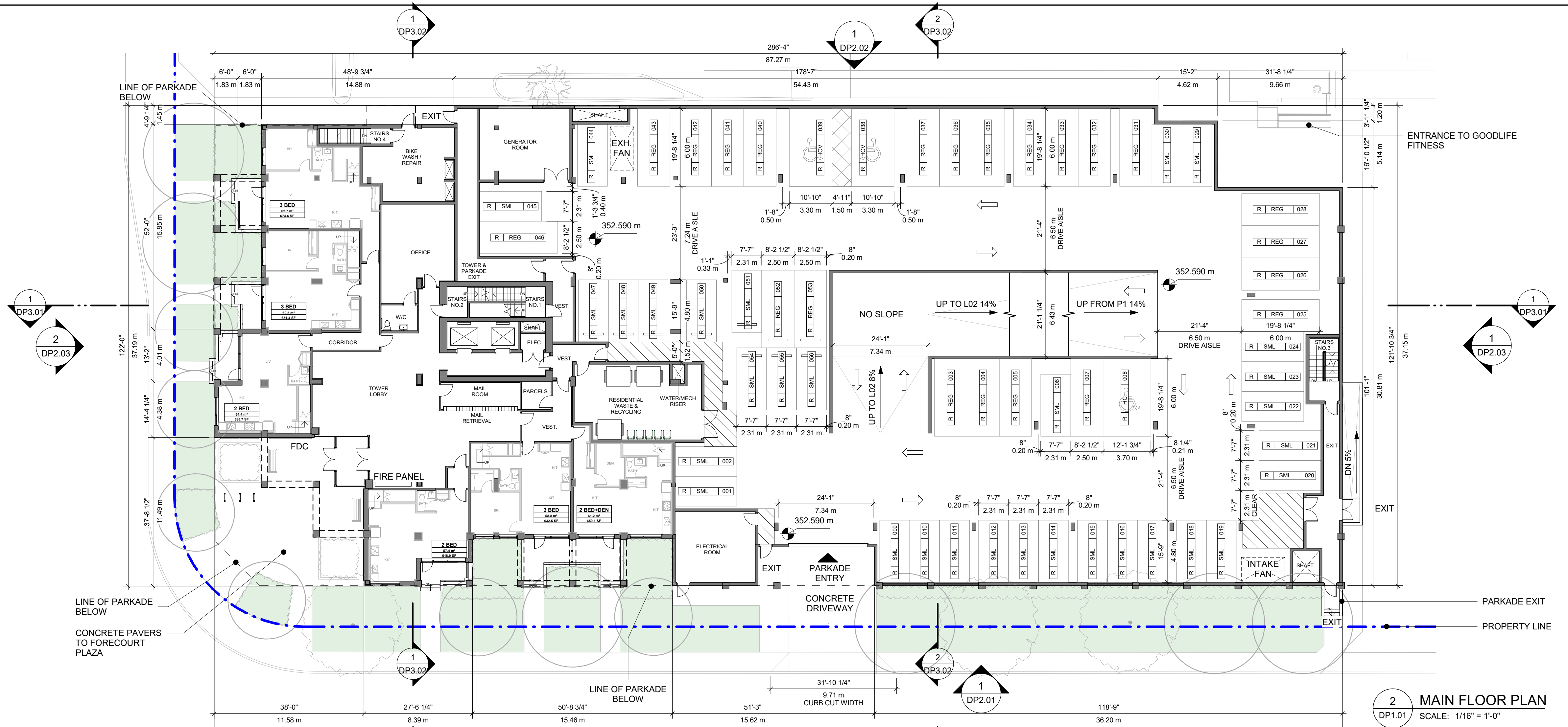
SHEET TITLE
SITE COVERAGE

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| SHEET NUMBER DP0.10 | ISSUE A |
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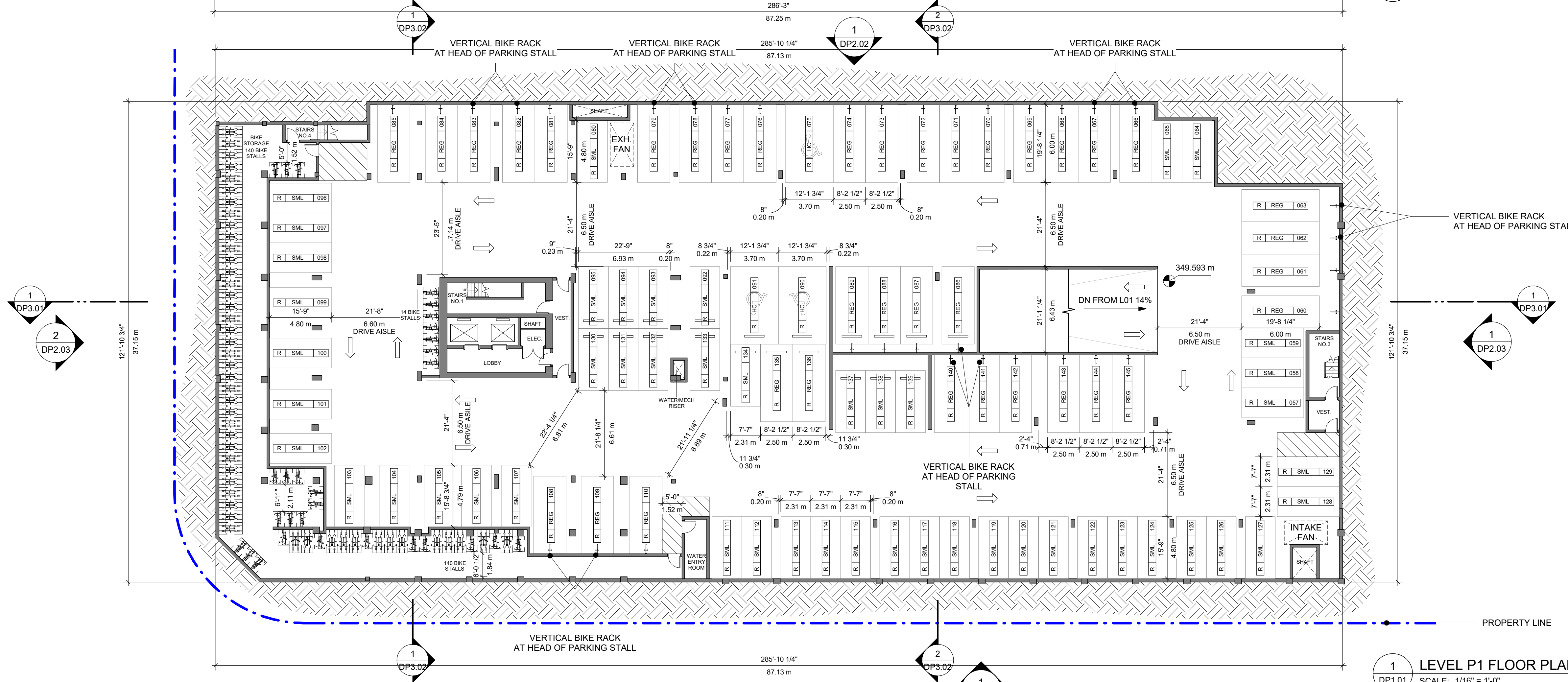
1 SITE PLAN - SITE COVERAGE
 DP0.10 SCALE: 1/16" = 1'-0"

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2 MAIN FLOOR PLAN
SCALE: 1/16" = 1'-0"



1 LEVEL P1 FLOOR PLAN
SCALE: 1/16" = 1'-0"

Phase 1 Parking - Overall

| Parking Stall Type: | Count |
|------------------------|------------|
| Accessible Stall | 6 |
| Regular Stall | 85 |
| Small Stall | 121 |
| Van Accessible Stall | 2 |
| Parking Stalls: | 214 |

Phase 1 Parking - Level 01

| Parking Stall Type: | Count |
|-----------------------|-----------|
| Accessible Stall | 1 |
| Regular Stall | 22 |
| Small Stall | 31 |
| Van Accessible Stall | 2 |
| Parking Stalls | 56 |

Phase 1 Parking - Level P1

| Parking Stall Type: | Count |
|-----------------------|-----------|
| Accessible Stall | 3 |
| Regular Stall | 37 |
| Small Stall | 49 |
| Parking Stalls | 89 |

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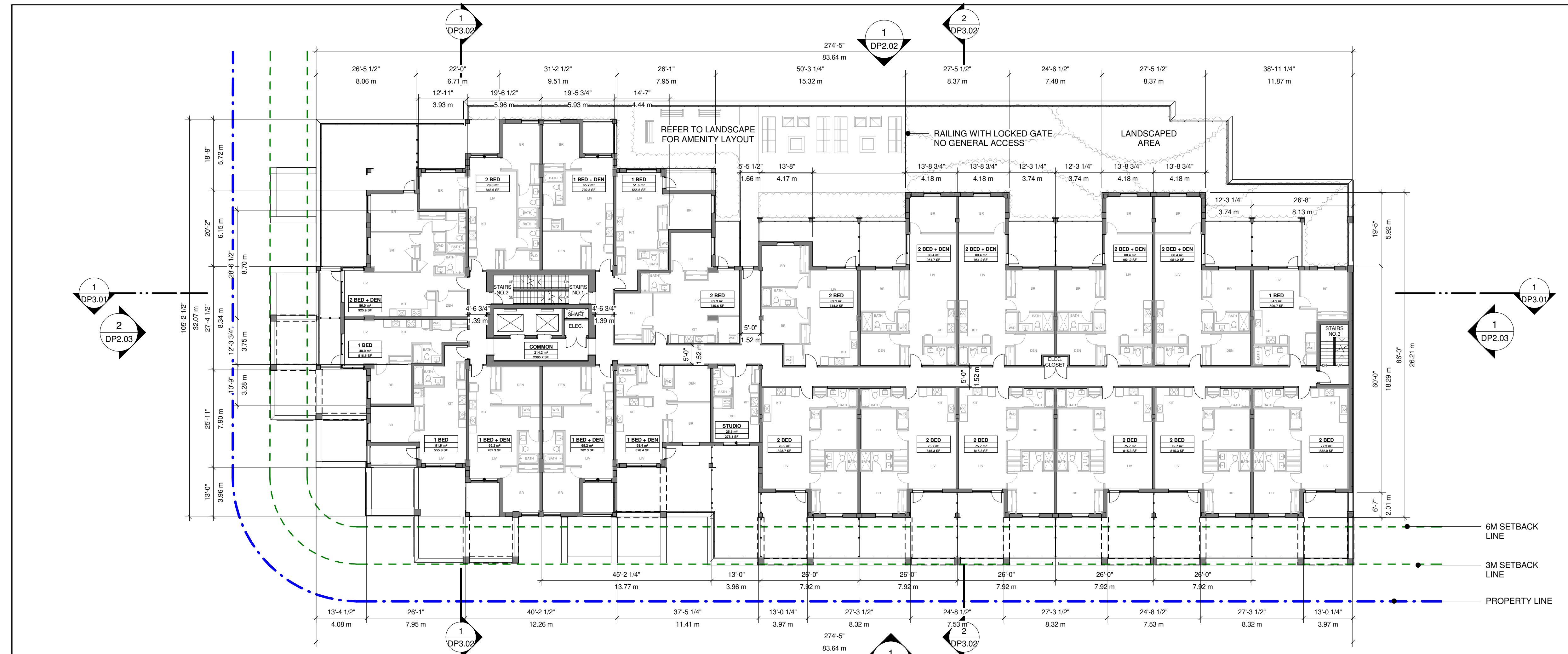
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LEVEL P1 & MAIN FLOOR PLAN

SHEET NUMBER
DP1.01

ISSUE
B

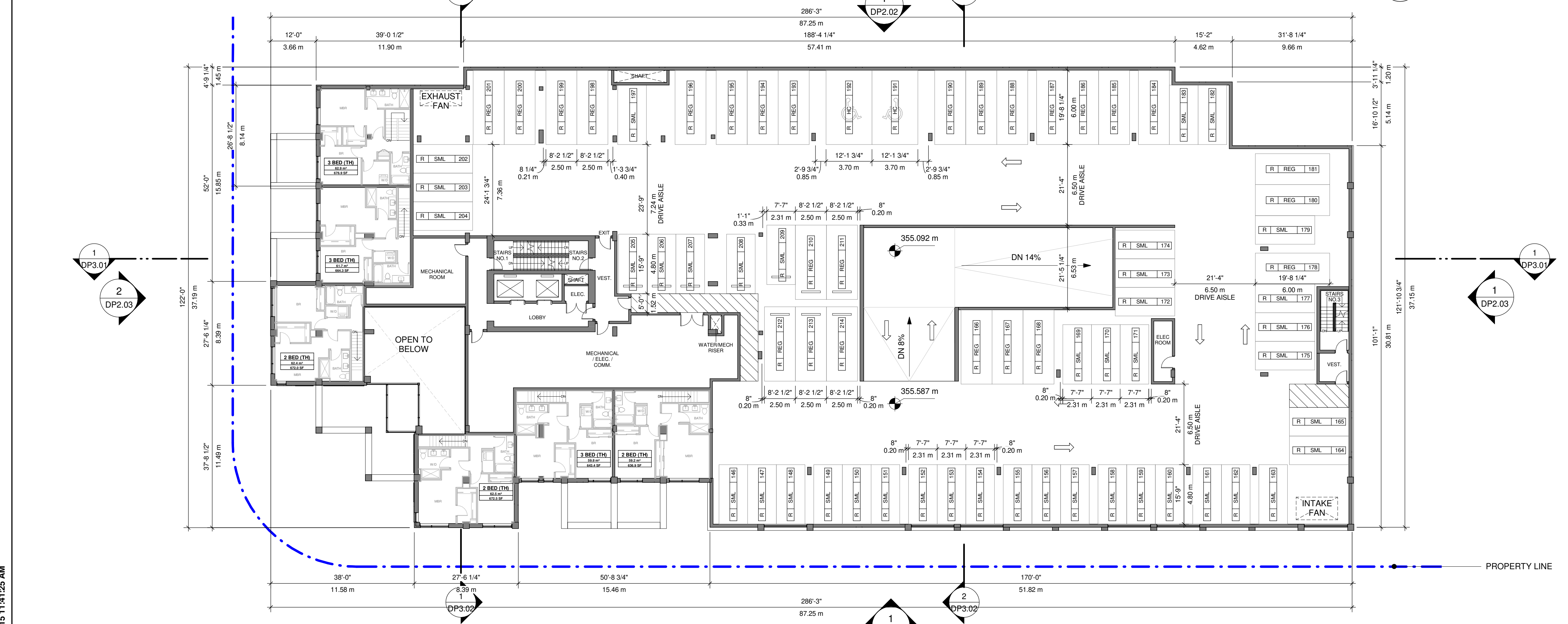
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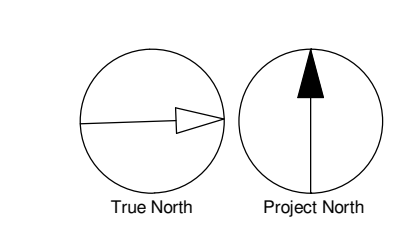


2 LEVEL 03 FLOOR PLAN
SCALE: 1/16" = 1'-0"

| Phase 1 Parking - Level 02 | |
|----------------------------|-----------|
| Parking Stall Type: | Count |
| Accessible Stall | 2 |
| Regular Stall | 26 |
| Small Stall | 41 |
| Parking Stalls | 69 |



1 LEVEL 02 FLOOR PLAN
SCALE: 1/16" = 1'-0"



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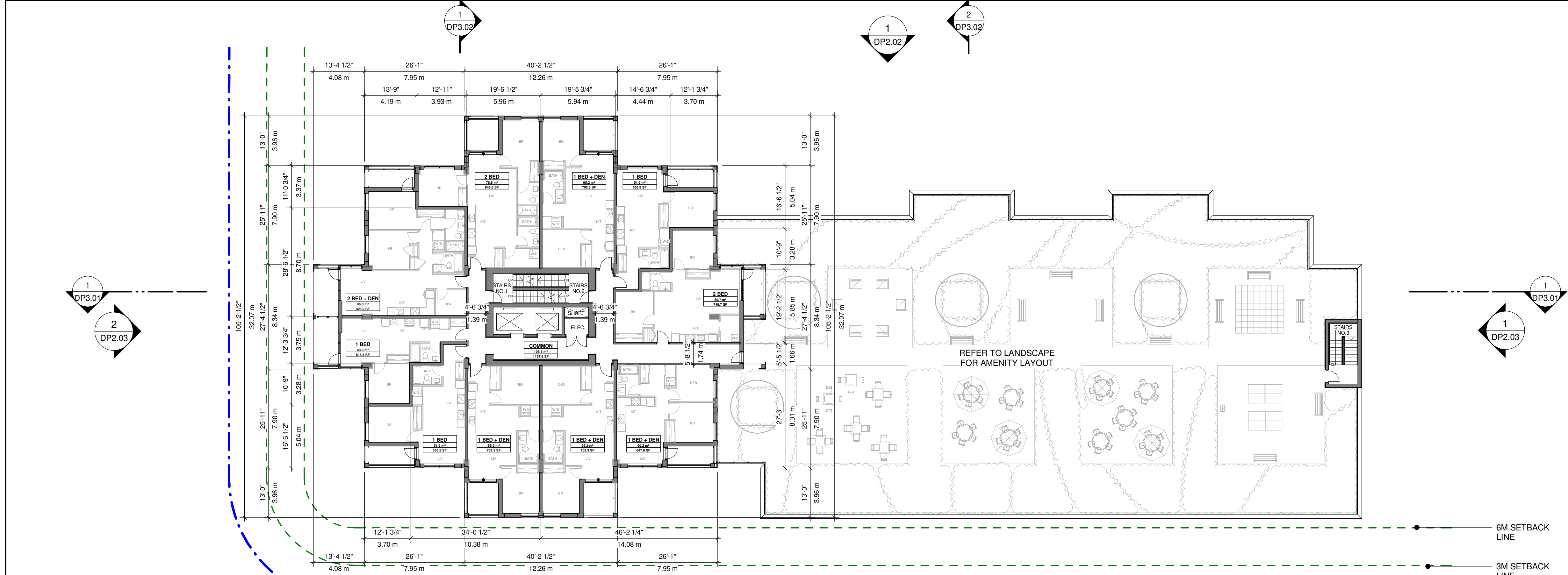
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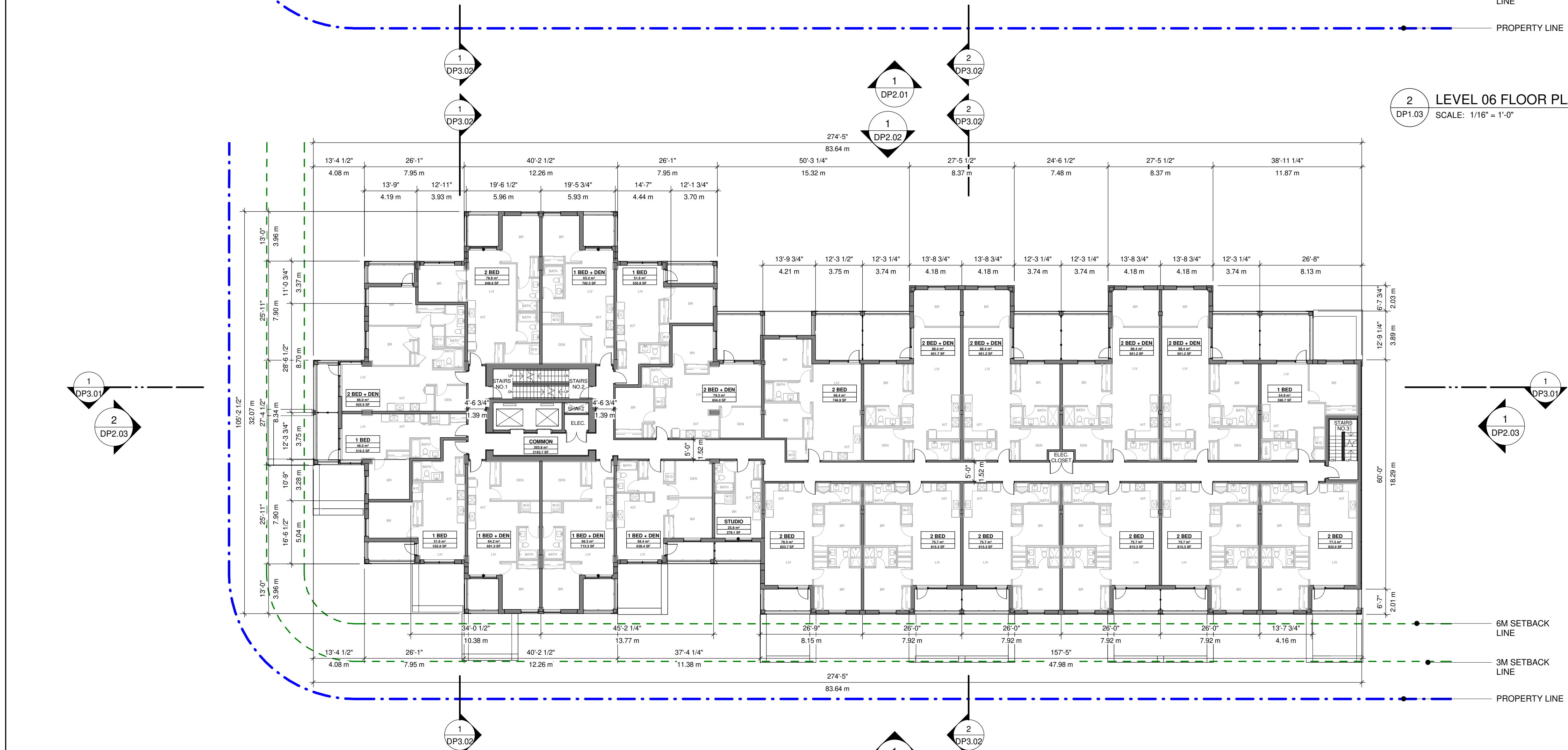
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LEVEL 02 & 03 FLOOR PLAN

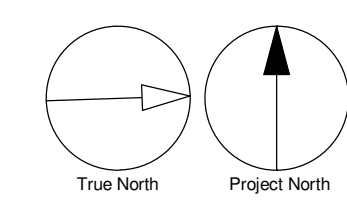
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2 LEVEL 06 FLOOR PLAN
SCALE: 1/16" = 1'-0"



1 LEVEL 04-05 FLOOR PLAN
SCALE: 1/16" = 1'-0"



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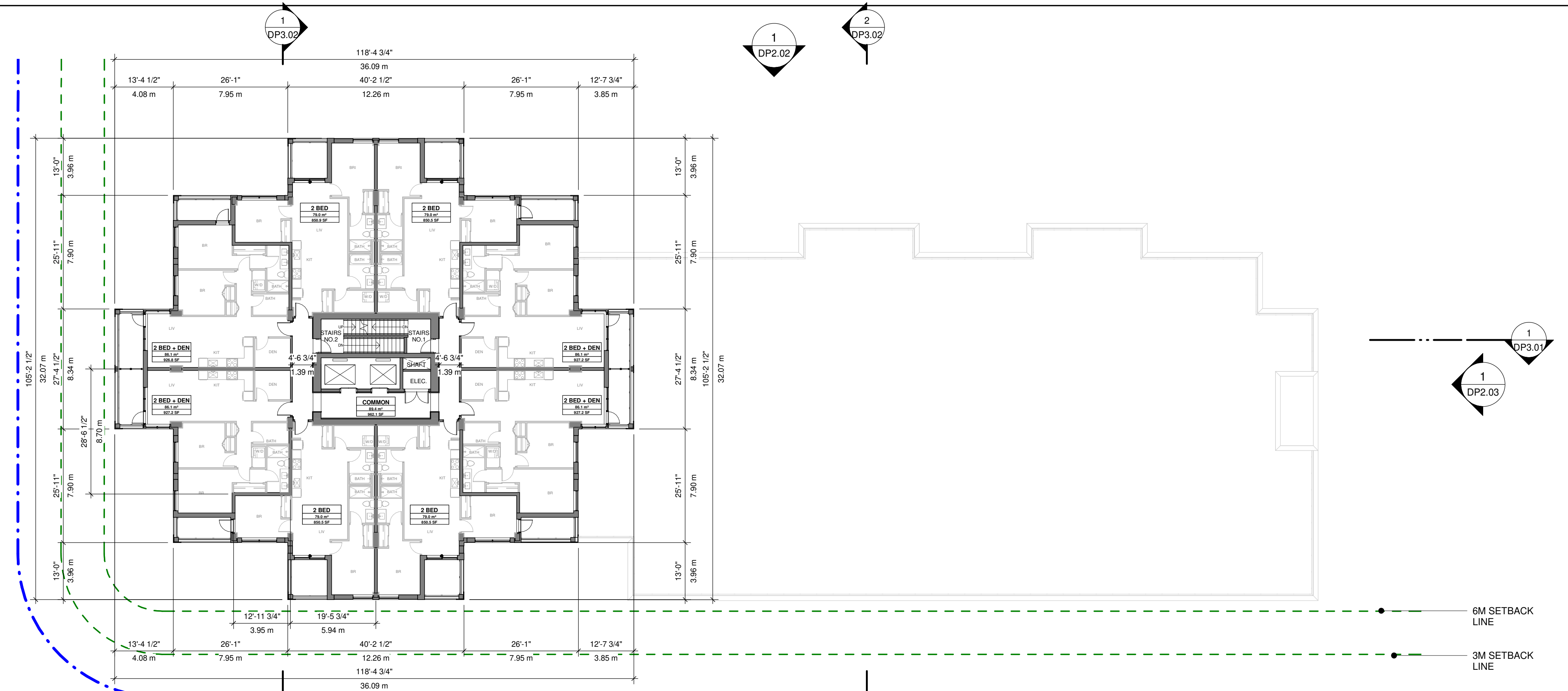
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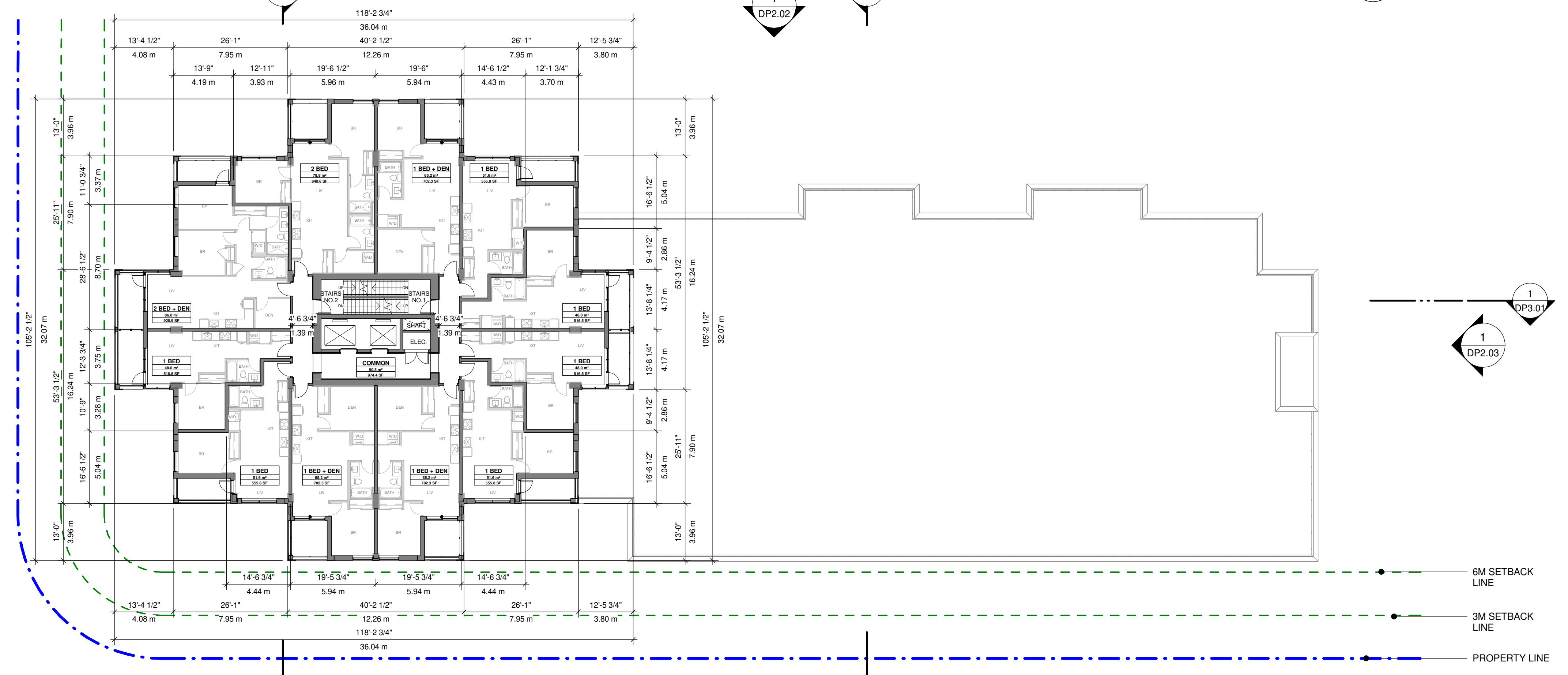
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LEVEL 04-05 & 06 FLOOR PLAN

SHEET NUMBER
DP1.03
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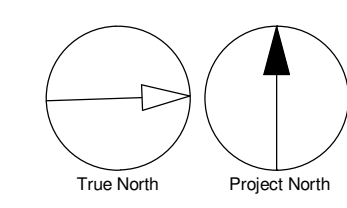
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2 LEVEL 23 PH FLOOR PLAN
SCALE: 1/16" = 1'-0"



1 LEVEL 07-22 FLOOR PLAN
SCALE: 1/16" = 1'-0"



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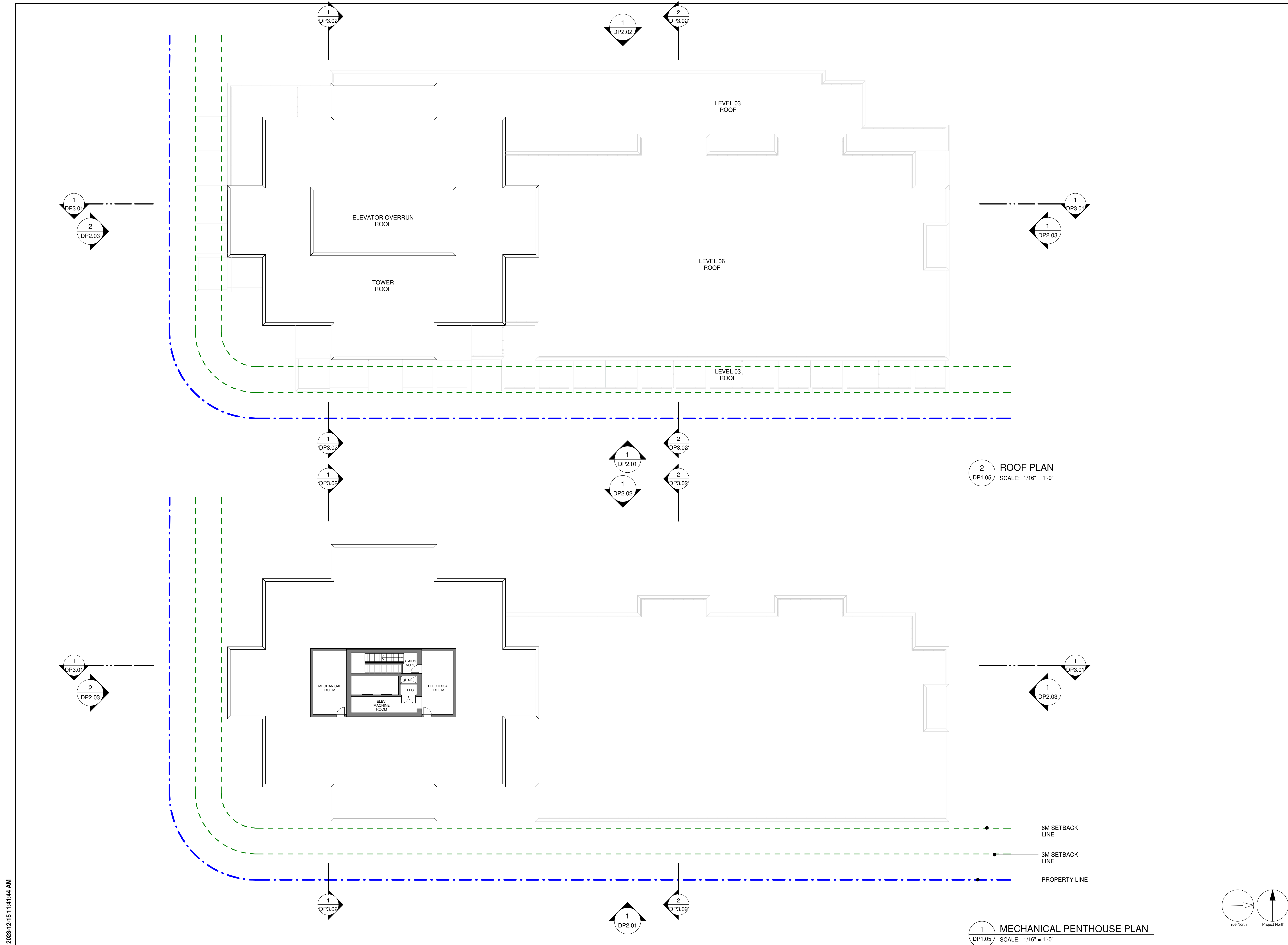
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LEVEL 07-22 & 23 PH FLOOR PLAN

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2 ROOF PLAN
SCALE: 1/16" = 1'-0"

1 MECHANICAL PENTHOUSE PLAN
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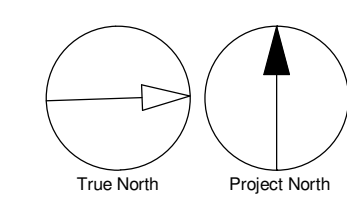
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VERTICAL VINE PLANTING TO SOFTEN AREAS OF LOWER PODIUM. SEE LANDSCAPE & DESIGN RATIONALE BOOKLET

1 EAST ELEVATION
DP2.01 SCALE: 1/16" = 1'-0"

VERTICAL VINE PLANTING TO SOFTEN AREAS OF LOWER PODIUM. SEE LANDSCAPE & DESIGN RATIONALE BOOKLET

MATERIAL LEGEND

- 3 CLEAR GLAZING W/ CHARCOAL FRAME
- 4a SPANDREL PANEL - WHITE W/ CHARCOAL FRAME
- 4a SPANDREL PANEL - BLUE W/ CHARCOAL FRAME
- 7 GLASS RAILING
- 8a METAL PANEL - WHITE
- 8b METAL PANEL - GREY
- 9a EIFS - GREY
- 11a LOUVRE PANEL - GREY
- 11b LOUVRE PANEL - BROWN
- 14 GARAGE DOOR - WHITE
- 15a PAINTED CONCRETE - WHITE
- 15b PAINTED CONCRETE - GREY
- 15c PAINTED CONCRETE - BROWN
- 22a ALUMINIUM CAPPING - DARK GREY

| | | |
|----------|---------|--------------------|
| ROOF | 1392.79 | 424.523 m GEODETIC |
| MECH. PH | 1382.96 | 421.526 m GEODETIC |
| LEVEL 23 | 1373.12 | 418.528 m GEODETIC |
| LEVEL 22 | 1363.29 | 415.531 m GEODETIC |
| LEVEL 21 | 1353.46 | 412.534 m GEODETIC |
| LEVEL 20 | 1343.62 | 409.537 m GEODETIC |
| LEVEL 19 | 1333.79 | 406.54 m GEODETIC |
| LEVEL 18 | 1323.96 | 403.542 m GEODETIC |
| LEVEL 17 | 1314.12 | 400.545 m GEODETIC |
| LEVEL 16 | 1304.29 | 397.548 m GEODETIC |
| LEVEL 15 | 1294.46 | 394.551 m GEODETIC |
| LEVEL 14 | 1284.62 | 391.554 m GEODETIC |
| LEVEL 13 | 1274.79 | 388.556 m GEODETIC |
| LEVEL 12 | 1264.96 | 385.559 m GEODETIC |
| LEVEL 11 | 1255.12 | 382.562 m GEODETIC |
| LEVEL 10 | 1245.29 | 379.565 m GEODETIC |
| LEVEL 09 | 1235.46 | 376.568 m GEODETIC |
| LEVEL 08 | 1225.62 | 373.57 m GEODETIC |
| LEVEL 07 | 1215.79 | 370.573 m GEODETIC |
| LEVEL 06 | 1205.96 | 367.576 m GEODETIC |
| LEVEL 05 | 1196.12 | 364.579 m GEODETIC |
| LEVEL 04 | 1186.29 | 361.582 m GEODETIC |
| LEVEL 03 | 1176.46 | 358.584 m GEODETIC |
| LEVEL 02 | 1166.62 | 355.587 m GEODETIC |
| LEVEL 01 | 1156.79 | 352.59 m GEODETIC |

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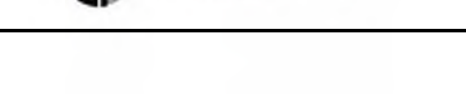
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tel 250 980 3432
www.arcadis.com

PROJECT

Capri Tower 1
1835 Gordon Dr,
Kelowna, BC V1Y 3H5

PROJECT NO:
125701

DRAWN BY:
TL

CHECKED BY:
GM

PROJECT MGR:
GM

APPROVED BY:
LM

SHEET TITLE

EAST ELEVATION

SHEET NUMBER

DP2.01

ISSUE

A

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| | | | |
|----------|-----------|-----------|----------|
| ROOF | (1392.79) | 424.523 m | GEODETIC |
| MECH. PH | (1382.96) | 421.526 m | GEODETIC |
| LEVEL 23 | (1373.12) | 418.528 m | GEODETIC |
| LEVEL 22 | (1363.29) | 415.531 m | GEODETIC |
| LEVEL 21 | (1353.46) | 412.534 m | GEODETIC |
| LEVEL 20 | (1343.62) | 409.537 m | GEODETIC |
| LEVEL 19 | (1333.79) | 406.54 m | GEODETIC |
| LEVEL 18 | (1323.96) | 403.542 m | GEODETIC |
| LEVEL 17 | (1314.12) | 400.545 m | GEODETIC |
| LEVEL 16 | (1304.29) | 397.548 m | GEODETIC |
| LEVEL 15 | (1294.46) | 394.551 m | GEODETIC |
| LEVEL 14 | (1284.62) | 391.554 m | GEODETIC |
| LEVEL 13 | (1274.79) | 388.556 m | GEODETIC |
| LEVEL 12 | (1264.96) | 385.559 m | GEODETIC |
| LEVEL 11 | (1255.12) | 382.562 m | GEODETIC |
| LEVEL 10 | (1245.29) | 379.565 m | GEODETIC |
| LEVEL 09 | (1235.46) | 376.568 m | GEODETIC |
| LEVEL 08 | (1225.62) | 373.57 m | GEODETIC |
| LEVEL 07 | (1215.79) | 370.573 m | GEODETIC |
| LEVEL 06 | (1205.96) | 367.576 m | GEODETIC |
| LEVEL 05 | (1196.12) | 364.579 m | GEODETIC |
| LEVEL 04 | (1186.29) | 361.582 m | GEODETIC |
| LEVEL 03 | (1176.46) | 358.584 m | GEODETIC |
| LEVEL 02 | (1166.62) | 355.587 m | GEODETIC |
| LEVEL 01 | (1156.79) | 352.59 m | GEODETIC |

MATERIAL LEGEND

| | |
|-----|--|
| 3 | CLEAR GLAZING W/ CHARCOAL FRAME |
| 4a | SPANDREL PANEL - WHITE W/ CHARCOAL FRAME |
| 4a | SPANDREL PANEL - BLUE W/ CHARCOAL FRAME |
| 7 | GLASS RAILING |
| 8a | METAL PANEL - WHITE |
| 8b | METAL PANEL - GREY |
| 9a | EIFS - GREY |
| 11a | LOUVRE PANEL - GREY |
| 11b | LOUVRE PANEL - BROWN |
| 14 | GARAGE DOOR - WHITE |
| 15a | PAINTED CONCRETE - WHITE |
| 15b | PAINTED CONCRETE - GREY |
| 15c | PAINTED CONCRETE - BROWN |
| 22a | ALUMINIUM CAPPING - DARK GREY |

1 WEST ELEVATION
 DP2.02 SCALE: 1/16" = 1'-0"

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 2023-12-18

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PROJECT
 Capri Tower 1
 1835 Gordon Dr,
 Kelowna, BC V1Y 3H5

PROJECT NO: 125701

DRAWN BY: TL **CHECKED BY:** GM

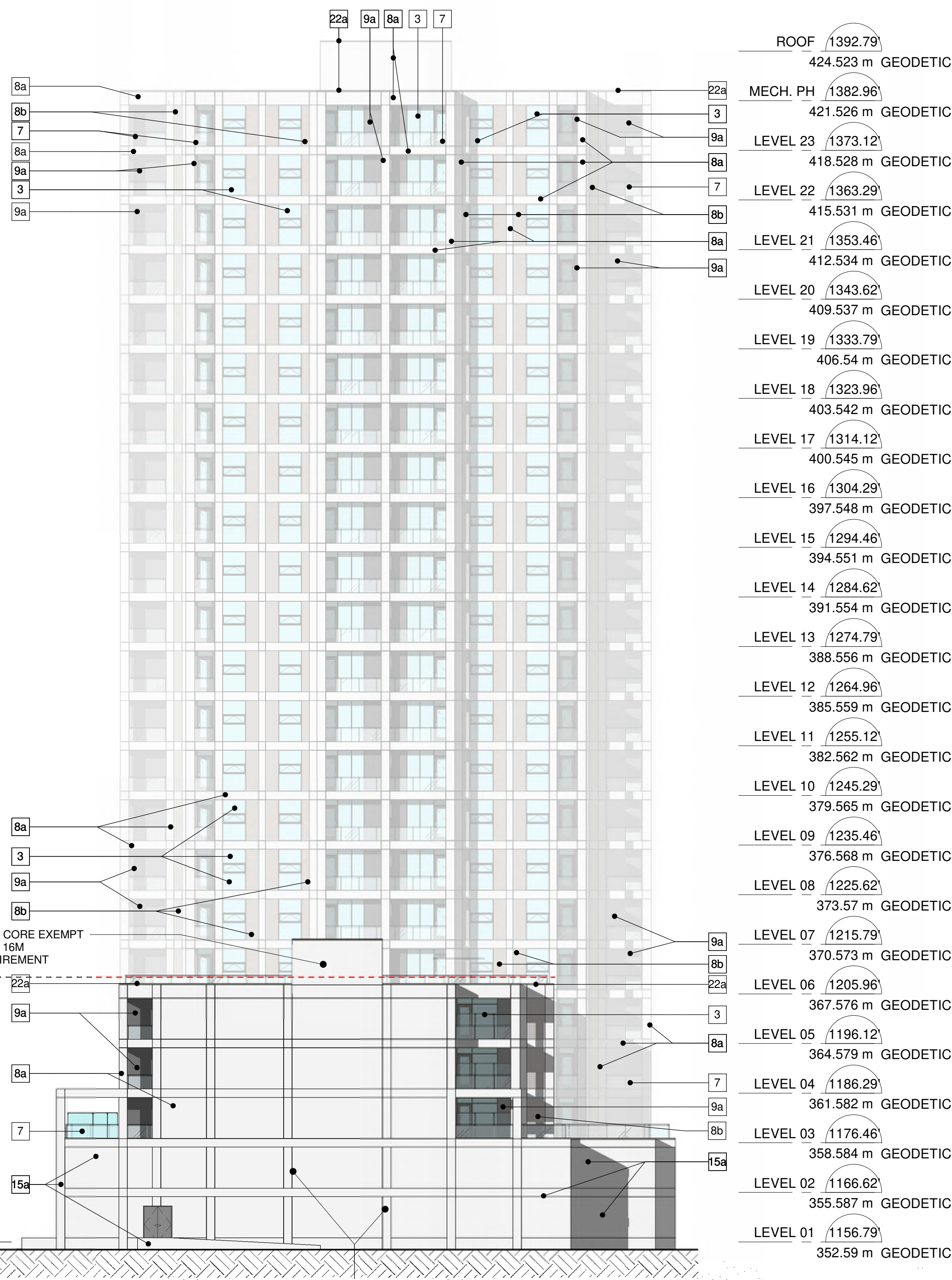
PROJECT MGR: GM **APPROVED BY:** LM

SHEET TITLE
 WEST ELEVATION

SHEET NUMBER DP2.02 **ISSUE** A

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1 NORTH ELEVATION
DP2.03 SCALE: 1/16" = 1'-0"



2 SOUTH ELEVATION
DP2.03 SCALE: 1/16" = 1'-0"

MATERIAL LEGEND

- 3 CLEAR GLAZING W/ CHARCOAL FRAME
- 4a SPANDREL PANEL - WHITE W/ CHARCOAL FRAME
- 4a SPANDREL PANEL - BLUE W/ CHARCOAL FRAME
- 7 GLASS RAILING
- 8a METAL PANEL - WHITE
- 8b METAL PANEL - GREY
- 9a EIFS - GREY
- 11a LOUVRE PANEL - GREY
- 11b LOUVRE PANEL - BROWN
- 14 GARAGE DOOR - WHITE
- 15a PAINTED CONCRETE - WHITE
- 15b PAINTED CONCRETE - GREY
- 15c PAINTED CONCRETE - BROWN
- 22a ALUMINIUM CAPPING - DARK GREY

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PROJECT

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1835 Gordon Dr,
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PROJECT NO:
125701

DRAWN BY:
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PROJECT MGR:
GM

CHECKED BY:
GM

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SHEET TITLE

NORTH & SOUTH ELEVATIONS

SHEET NUMBER

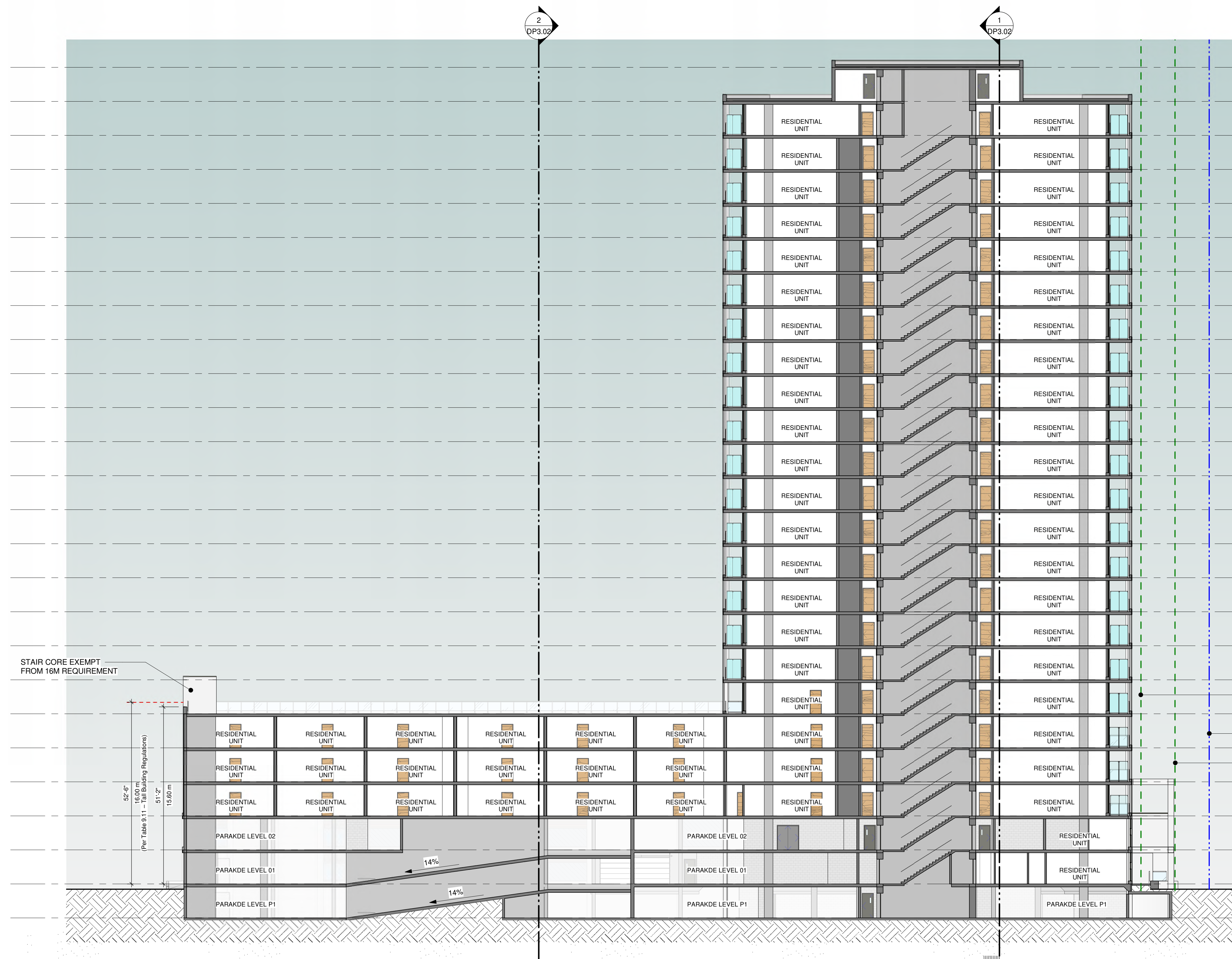
DP2.03

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1 BUILDING SECTION 1
 DP3.01 SCALE: 1/16" = 1'-0"

| | | |
|-----------------|-----------|----------|
| ROOF | 1392.79 | |
| | 424.523 m | GEODETIC |
| MECH. PH | 1382.96 | |
| | 421.526 m | GEODETIC |
| LEVEL 23 | 1373.12 | |
| | 418.528 m | GEODETIC |
| LEVEL 22 | 1363.29 | |
| | 415.531 m | GEODETIC |
| LEVEL 21 | 1353.46 | |
| | 412.534 m | GEODETIC |
| LEVEL 20 | 1343.62 | |
| | 409.537 m | GEODETIC |
| LEVEL 19 | 1333.79 | |
| | 406.54 m | GEODETIC |
| LEVEL 18 | 1323.96 | |
| | 403.542 m | GEODETIC |
| LEVEL 17 | 1314.12 | |
| | 400.545 m | GEODETIC |
| LEVEL 16 | 1304.29 | |
| | 397.548 m | GEODETIC |
| LEVEL 15 | 1294.46 | |
| | 394.551 m | GEODETIC |
| LEVEL 14 | 1284.62 | |
| | 391.554 m | GEODETIC |
| LEVEL 13 | 1274.79 | |
| | 388.556 m | GEODETIC |
| LEVEL 12 | 1264.96 | |
| | 385.559 m | GEODETIC |
| LEVEL 11 | 1255.12 | |
| | 382.562 m | GEODETIC |
| LEVEL 10 | 1245.29 | |
| | 379.565 m | GEODETIC |
| LEVEL 09 | 1235.46 | |
| | 376.568 m | GEODETIC |
| LEVEL 08 | 1225.62 | |
| | 373.57 m | GEODETIC |
| LEVEL 07 | 1215.79 | |
| | 370.573 m | GEODETIC |
| 6M SETBACK LINE | 1205.96 | |
| LEVEL 06 | 1205.96 | |
| | 367.576 m | GEODETIC |
| PROPERTY LINE | 1196.12 | |
| LEVEL 05 | 1196.12 | |
| | 364.579 m | GEODETIC |
| 3M SETBACK LINE | 1186.29 | |
| LEVEL 04 | 1186.29 | |
| | 361.582 m | GEODETIC |
| LEVEL 03 | 1176.46 | |
| | 358.584 m | GEODETIC |
| LEVEL 02 | 1166.62 | |
| | 355.587 m | GEODETIC |
| LEVEL 01 | 1156.79 | |
| | 352.59 m | GEODETIC |
| LEVEL P1 | 1146.96 | |
| | 349.593 m | GEODETIC |

70.00' (MEASURED FROM PL. GRADE, MAX ALLOWABLE 70m)
 228'-8"
 68.94'

STAIR CORE EXEMPT FROM 16M REQUIREMENT

52'-6"
 16.00 m
 (Per Table 9.11 - Tall Building Regulations)
 51'-2"
 15.60 m

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PROJECT NO:
 125701

DRAWN BY:
 TL

PROJECT MGR:
 GM

CHECKED BY:
 GM

APPROVED BY:
 LM

SHEET TITLE
BUILDING SECTIONS

SHEET NUMBER
DP3.01

ISSUE
A

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 SCALE CHECK

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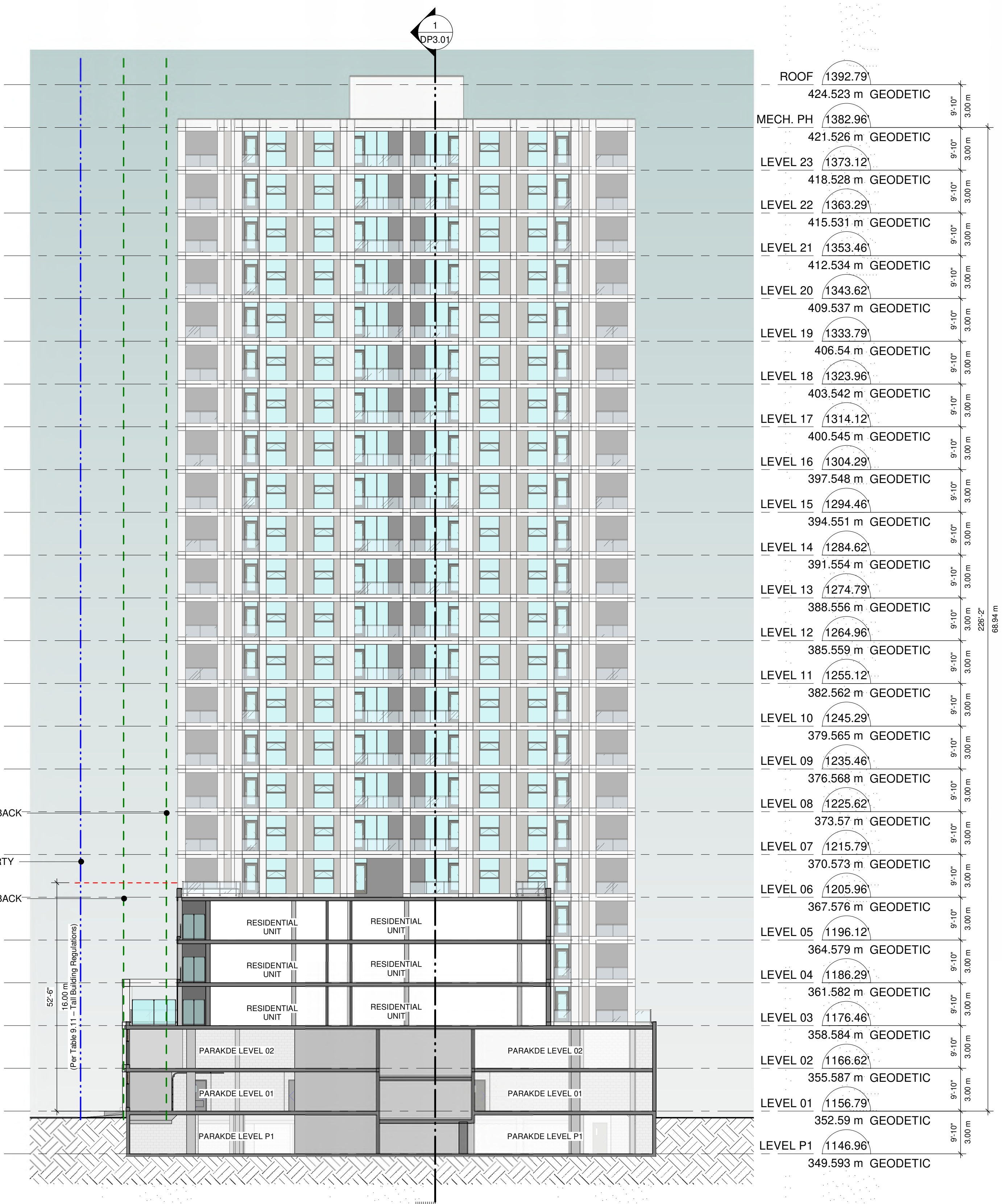
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 125701
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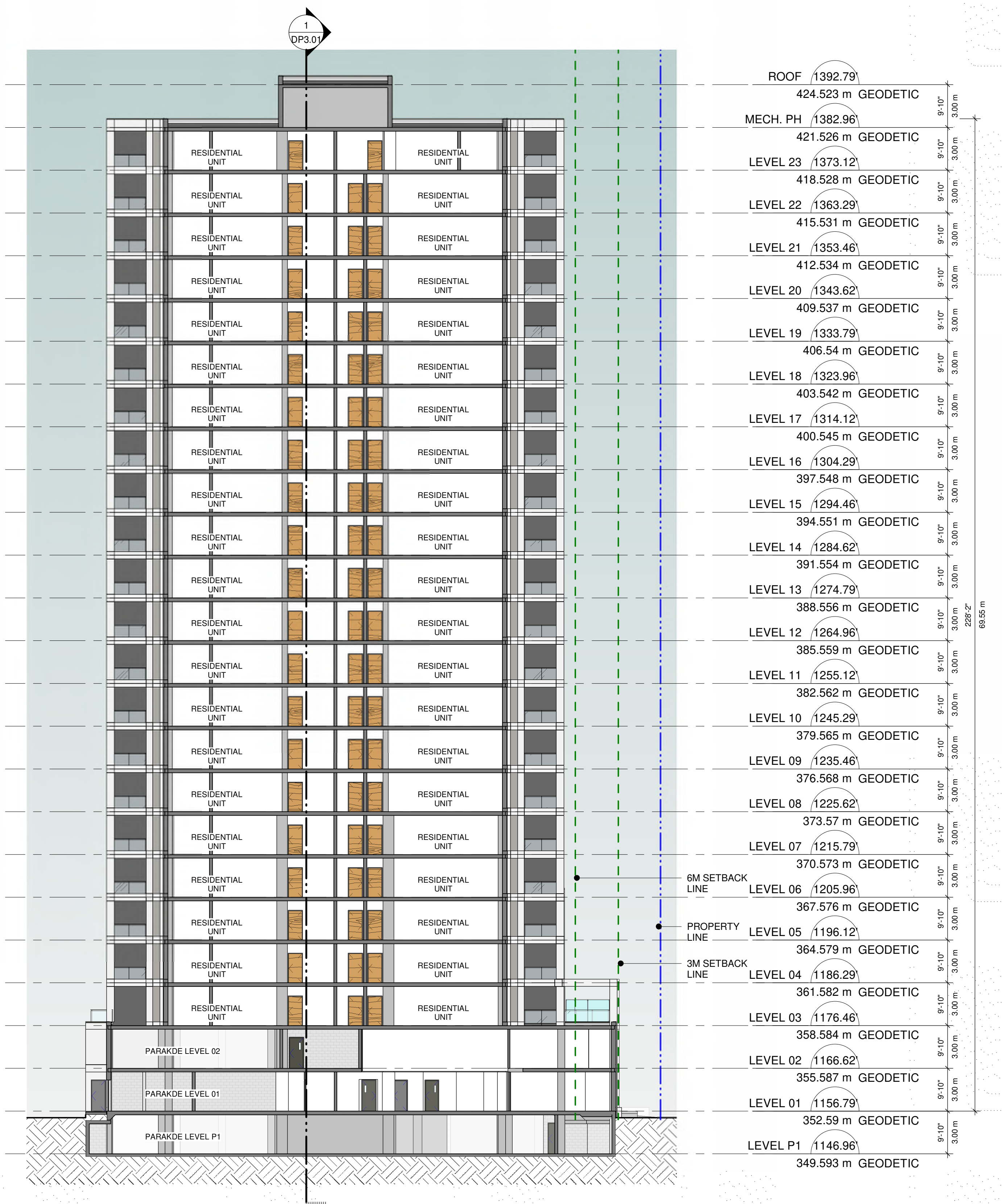
SHEET TITLE
BUILDING SECTIONS

SHEET NUMBER
DP3.02

ISSUE
A



2 BUILDING SECTION 3
 DP3.02 SCALE: 1/16" = 1'-0"



1 BUILDING SECTION 2
 DP3.02 SCALE: 1/16" = 1'-0"



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PROJECT NO:
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PROJECT MGR:
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SHEET TITLE

3D MASSING

SHEET NUMBER

DP4.00

ISSUE

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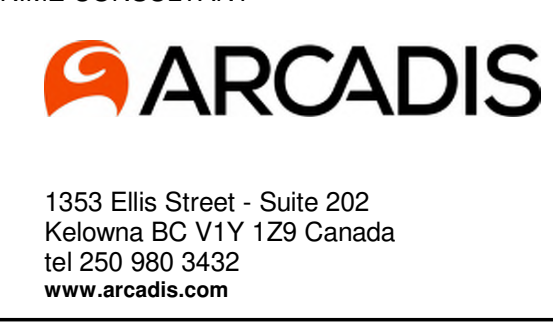
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PROJECT NO: 125701
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PROJECT NO:
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DRAWN BY:
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PROJECT MGR:
 GM

APPROVED BY:
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SHEET TITLE

3D MASSING

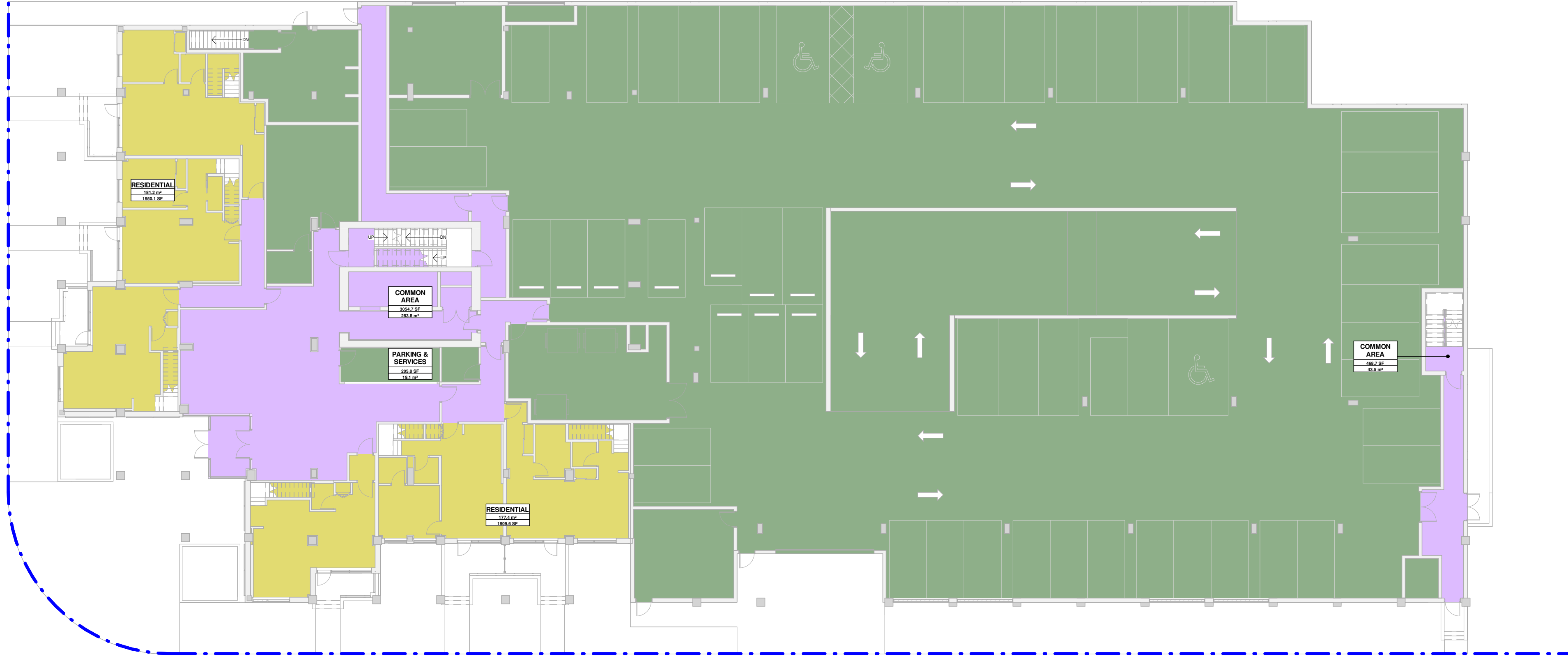
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DP4.02

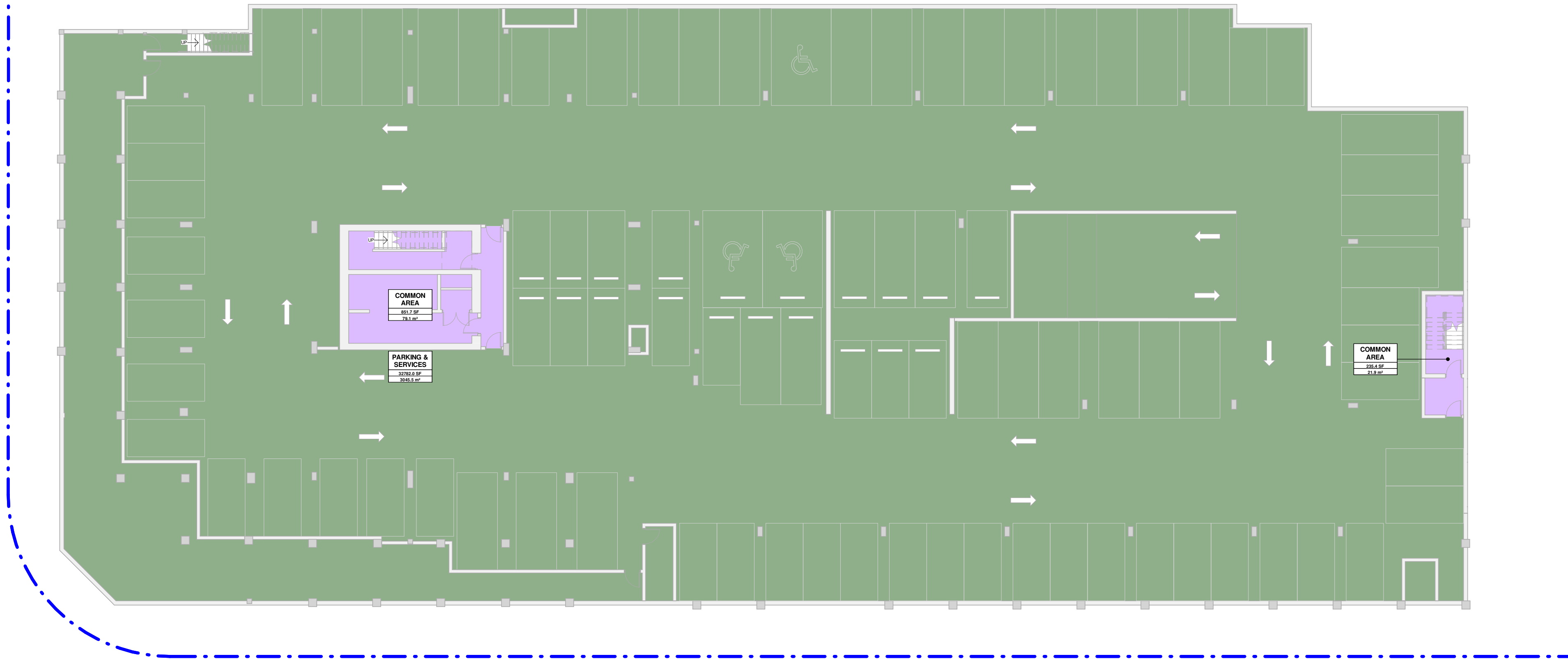
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A

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- COMMON AREA
- PARKING & SERVICES
- RESIDENTIAL



2 LEVEL 01 - FAR/FSR PLAN
DP5.01 SCALE: 1/16" = 1'-0"



1 LEVEL P1 - FAR/FSR PLAN
DP5.01 SCALE: 1/16" = 1'-0"

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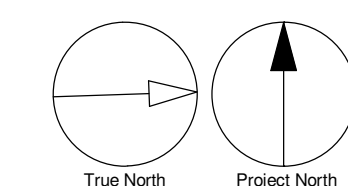
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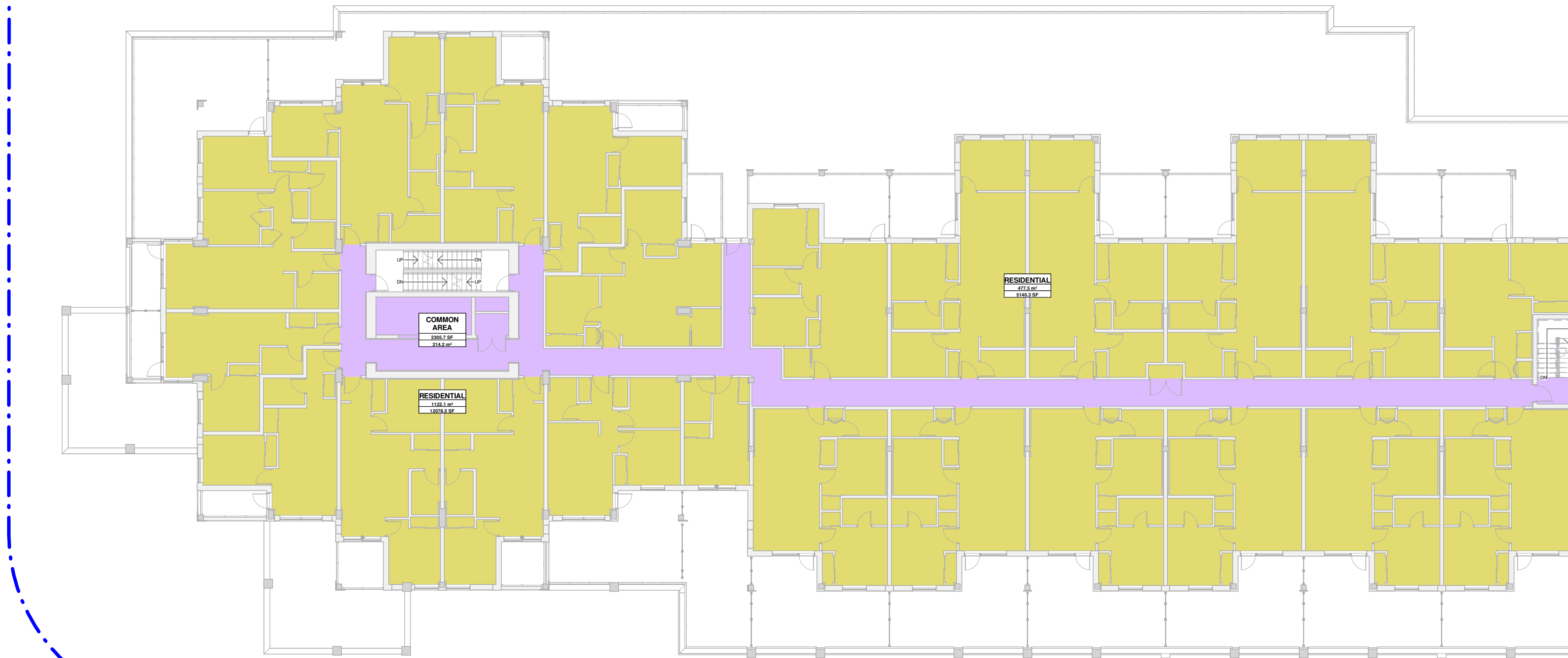
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SHEET TITLE
LEVEL P1 & MAIN FLOOR FAR PLANS

SHEET NUMBER
DP5.01
ISSUE
A

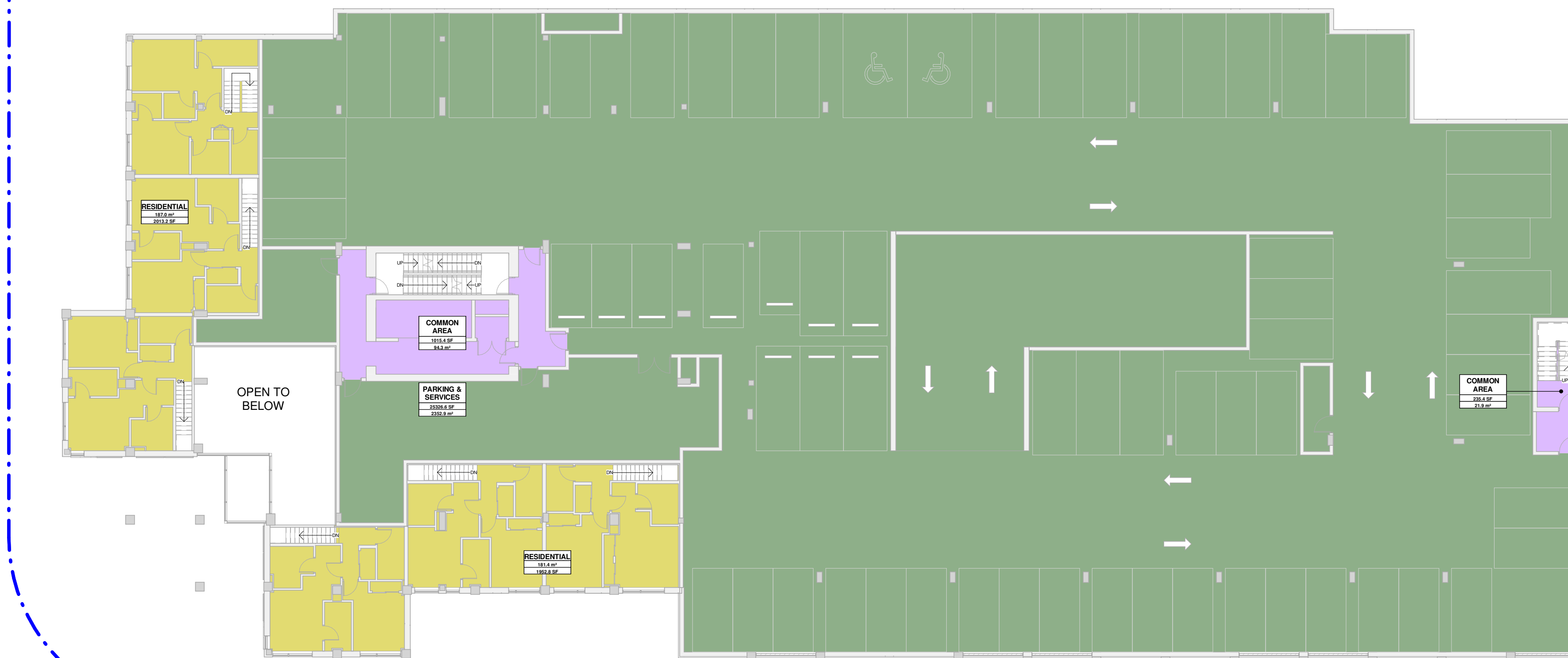


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- PARKING & SERVICES
- RESIDENTIAL



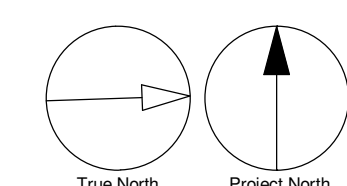
| FAR/FSR SCHEDULE - LEVEL 03 | | | |
|-----------------------------|----------------------|------------------------|---------|
| Name | Area ft ² | Area m ² | FAR/FSR |
| COMMON AREA | 2305.7 SF | 214.20 m ² | NO |
| RESIDENTIAL | 17218.7 SF | 1599.67 m ² | YES |
| Total Area: | 19524.4 SF | 1813.88 m ² | |

2 LEVEL 03 - FAR/FSR PLAN
DP5.02 SCALE: 1/16" = 1'-0"



| FAR/FSR SCHEDULE - LEVEL 02 | | | |
|-----------------------------|----------------------|------------------------|---------|
| Name | Area ft ² | Area m ² | FAR/FSR |
| COMMON AREA | 1250.8 SF | 116.20 m ² | NO |
| PARKING & SERVICES | 25326.6 SF | 2352.92 m ² | NO |
| RESIDENTIAL | 3966.0 SF | 368.45 m ² | YES |
| Total Area: | 30543.4 SF | 2837.57 m ² | |

1 LEVEL 02 - FAR/FSR PLAN
DP5.02 SCALE: 1/16" = 1'-0"



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Kelowna BC V1Y 1Z9 Canada
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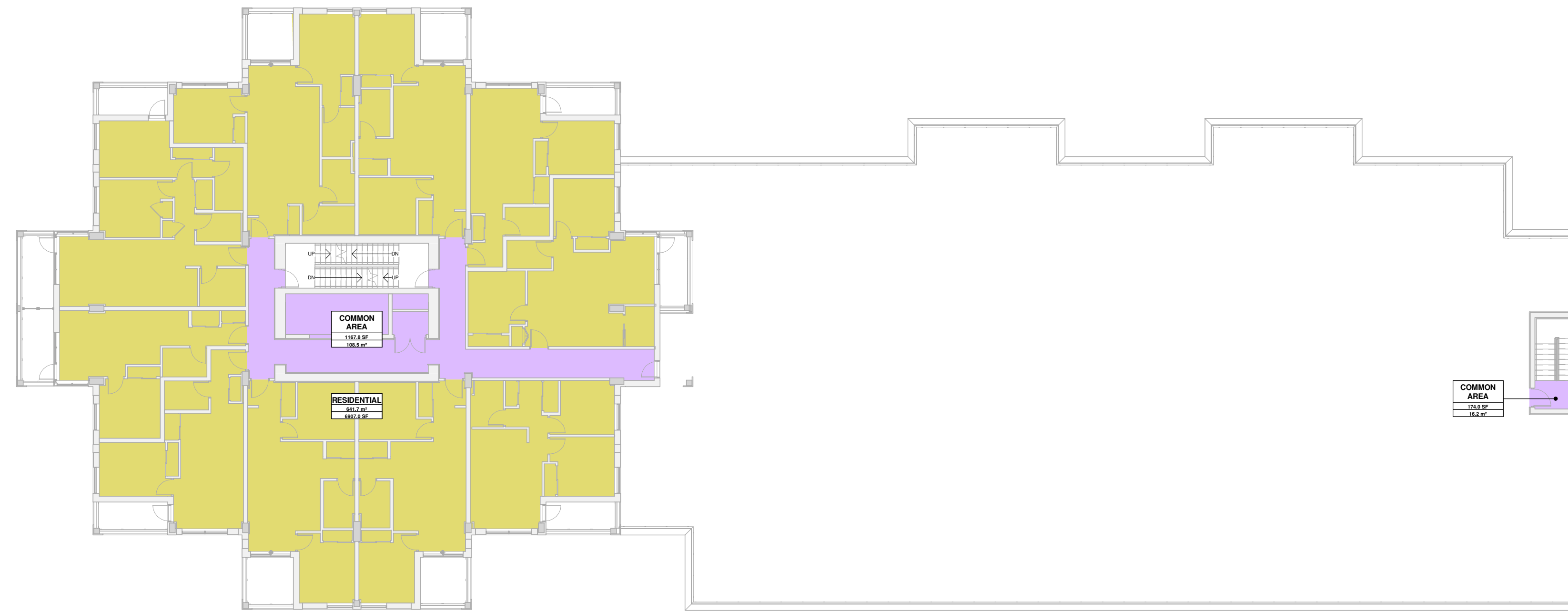
PROJECT
Capri Tower 1
1835 Gordon Dr,
Kelowna, BC V1Y 3H5

PROJECT NO:
125701
DRAWN BY:
TL
PROJECT MGR:
GM
CHECKED BY:
GM
APPROVED BY:
LM

SHEET TITLE
LEVEL 02 & 03 FAR PLANS

SHEET NUMBER
DP5.02
ISSUE
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- AMENITY
- COMMERCIAL
- COMMON AREA
- PARKING & SERVICES
- RESIDENTIAL



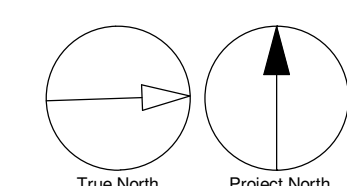
| FAR/FSR SCHEDULE - LEVEL 06 | | | |
|-----------------------------|----------------------|-----------------------------|---------|
| Name | Area ft ² | Area m ² | FAR/FSR |
| COMMON AREA | 1341.8 SF | 124.66 m ² | NO |
| RESIDENTIAL | 6907.0 SF | 641.69 m ² | YES |
| Total Area: | 8248.8 SF | 766.34 m² | |

2 LEVEL 06 - FAR/FSR PLAN
DP5.03 SCALE: 1/16" = 1'-0"



| FAR/FSR SCHEDULE - LEVEL 04-05 | | | |
|--------------------------------|----------------------|------------------------------|---------|
| Name | Area ft ² | Area m ² | FAR/FSR |
| COMMON AREA | 2193.7 SF | 203.80 m ² | NO |
| RESIDENTIAL | 17330.0 SF | 1610.01 m ² | YES |
| Total Area: | 19523.6 SF | 1813.81 m² | |

1 LEVEL 04 - FAR/FSR PLAN
DP5.03 SCALE: 1/16" = 1'-0"



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PROJECT
Capri Tower 1
1835 Gordon Dr,
Kelowna, BC V1Y 3H5

PROJECT NO:
125701
DRAWN BY:
TL
PROJECT MGR:
GM

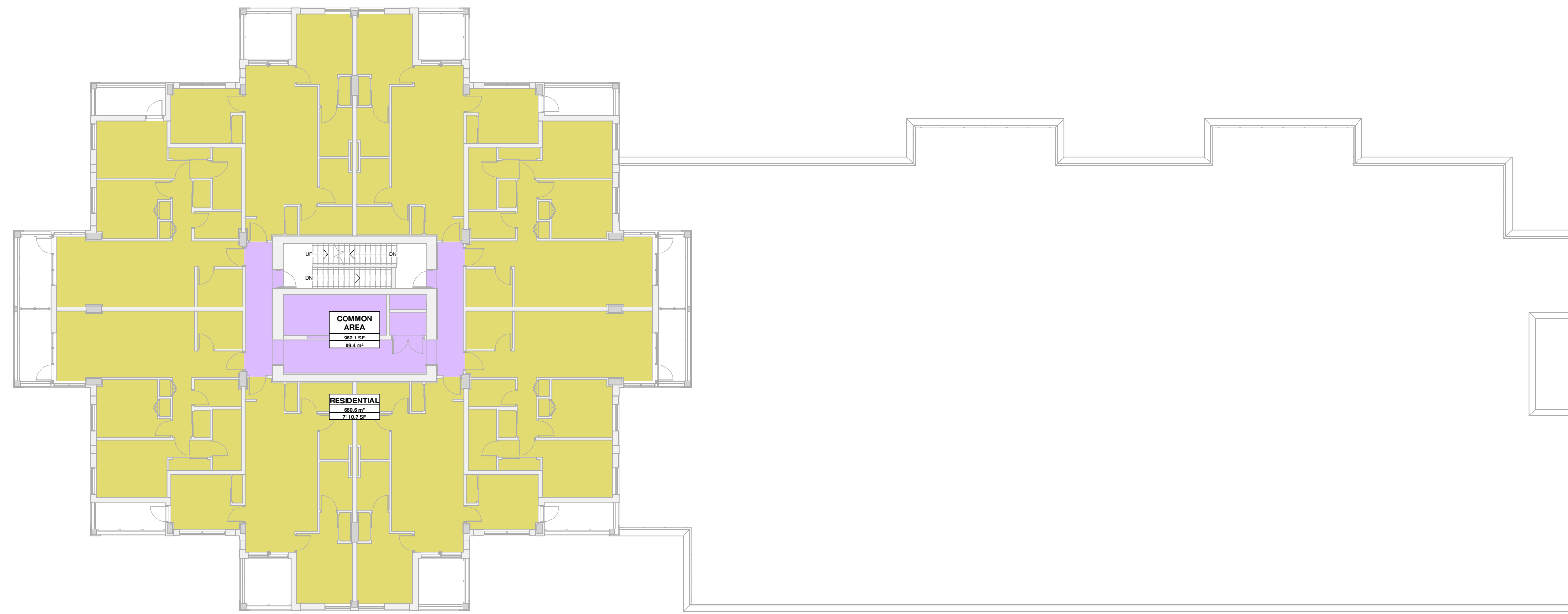
CHECKED BY:
GM
APPROVED BY:
LM

SHEET TITLE
LEVEL 04-05 & 06 FAR PLANS

SHEET NUMBER
DP5.03

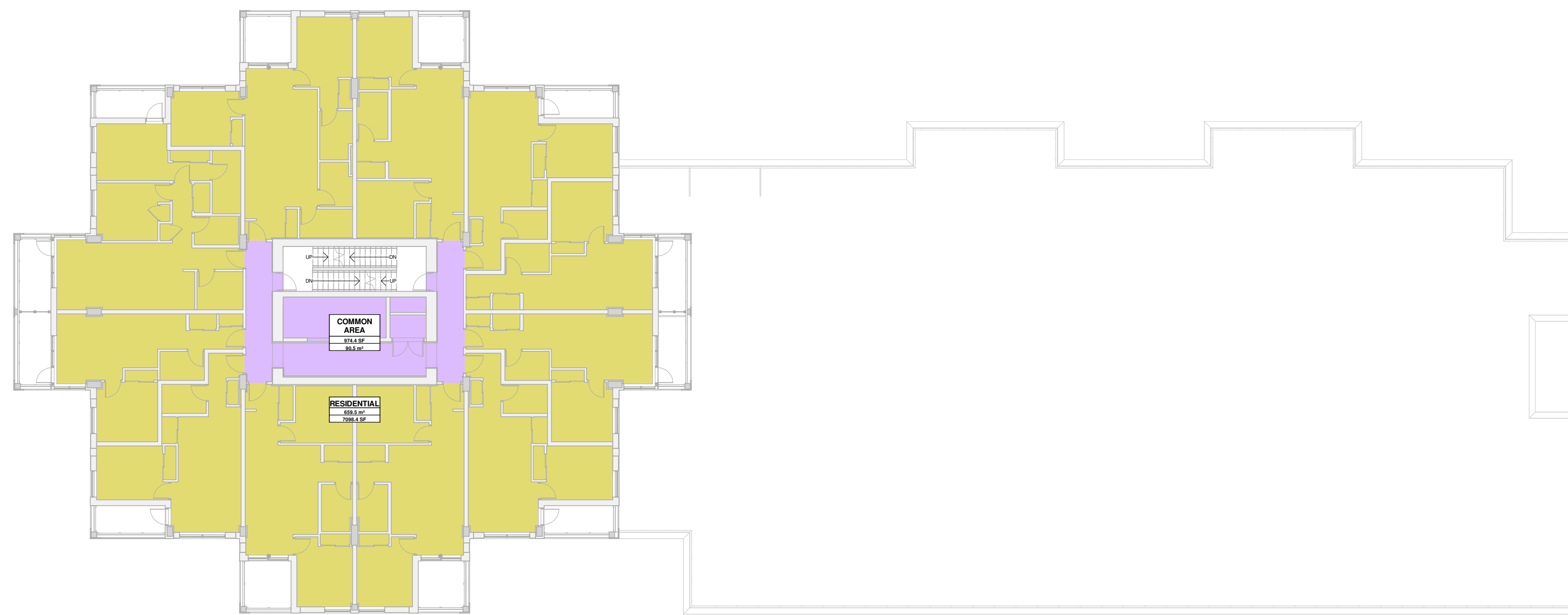
ISSUE
A

- AMENITY
- COMMERCIAL
- COMMON AREA
- PARKING & SERVICES
- RESIDENTIAL



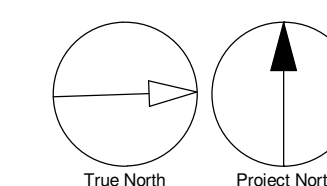
| FAR/FSR SCHEDULE - LEVEL 23 | | | |
|-----------------------------|----------------------|-----------------------------|---------|
| Name | Area ft ² | Area m ² | FAR/FSR |
| COMMON AREA | 962.1 SF | 89.38 m ² | NO |
| RESIDENTIAL | 7110.7 SF | 660.60 m ² | YES |
| Total Area: | 8072.8 SF | 749.99 m² | |

2 LEVEL 23 - FAR/FSR PLAN
DP5.04 SCALE: 1/16" = 1'-0"



| FAR/FSR SCHEDULE - LEVEL 07-22 | | | |
|--------------------------------|----------------------|-----------------------------|---------|
| Name | Area ft ² | Area m ² | FAR/FSR |
| COMMON AREA | 974.4 SF | 90.53 m ² | NO |
| RESIDENTIAL | 7098.4 SF | 659.46 m ² | YES |
| Total Area: | 8072.8 SF | 749.99 m² | |

1 LEVEL 07-22 - FAR/FSR PLAN
DP5.04 SCALE: 1/16" = 1'-0"



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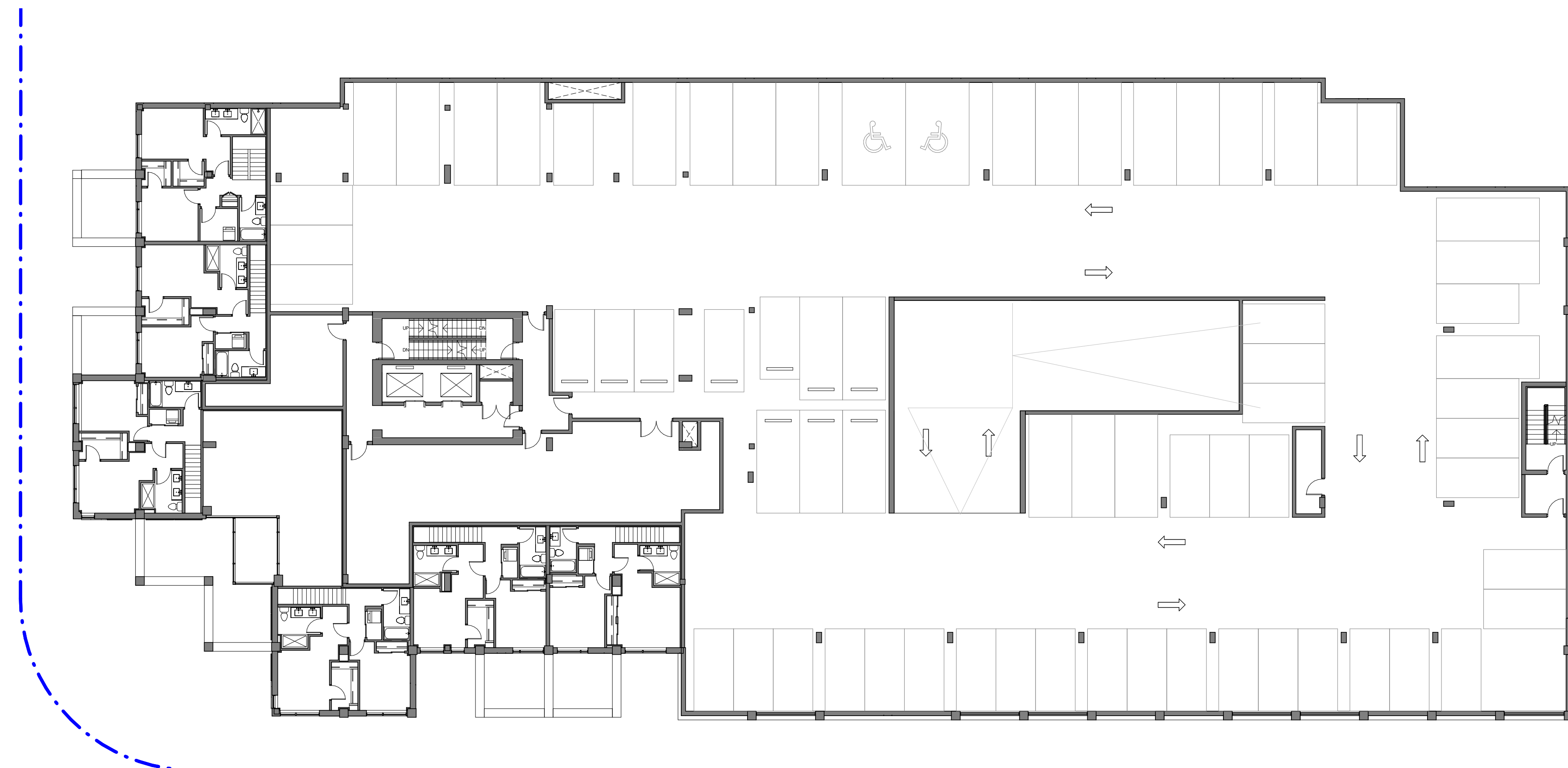
PROJECT
Capri Tower 1
1835 Gordon Dr,
Kelowna, BC V1Y 3H5

PROJECT NO:
125701
DRAWN BY:
TL
PROJECT MGR:
GM
CHECKED BY:
GM
APPROVED BY:
LM

SHEET TITLE
LEVEL 07-22 & 23 PH FAR PLANS

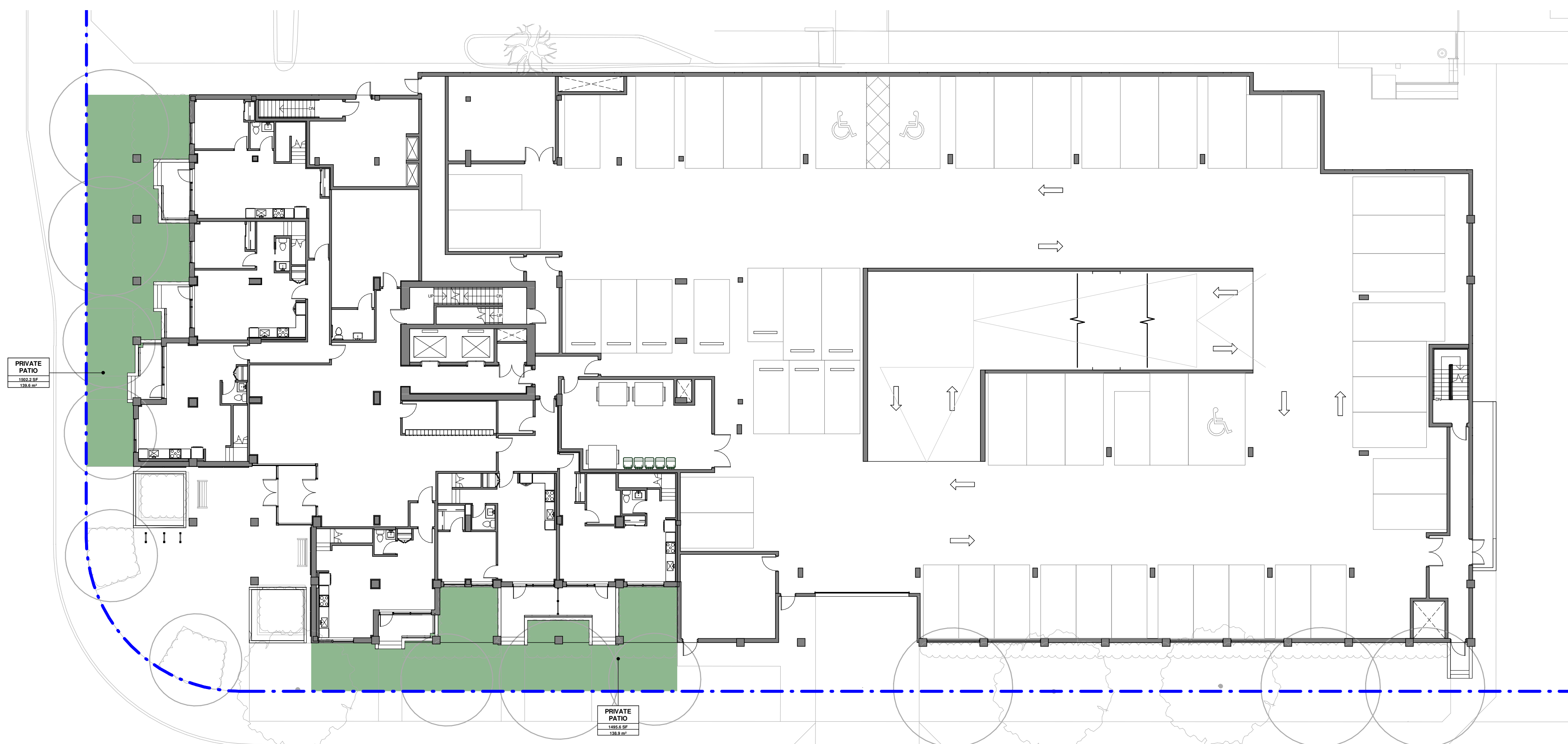
SHEET NUMBER
DP5.04
ISSUE
A

- BALCONY
- PRIVATE PATIO
- ROOF TERRACE



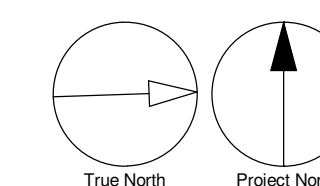
| OPEN SPACE SCHEDULE - LEVEL 02 | | | | |
|--------------------------------|---------------|-------|-----------------------|----------------------|
| Legend | Usage Type | Count | Area m ² | Area ft ² |
| | PRIVATE PATIO | 2 | 278.50 m ² | 2997.78 SF |
| Total Open Space: | | | 278.50 m ² | 2997.78 SF |

2 LEVEL 02 - PRIVATE OPEN SPACE PLAN
 DP6.01 SCALE: 1/16" = 1'-0"



| OPEN SPACE SCHEDULE - LEVEL 01 | | | | |
|--------------------------------|---------------|-------|-----------------------|----------------------|
| Legend | Usage Type | Count | Area m ² | Area ft ² |
| | PRIVATE PATIO | 2 | 278.50 m ² | 2997.78 SF |
| Total Open Space: | | | 278.50 m ² | 2997.78 SF |

1 MAIN FLOOR - PRIVATE OPEN SPACE PLAN
 DP6.01 SCALE: 1/16" = 1'-0"



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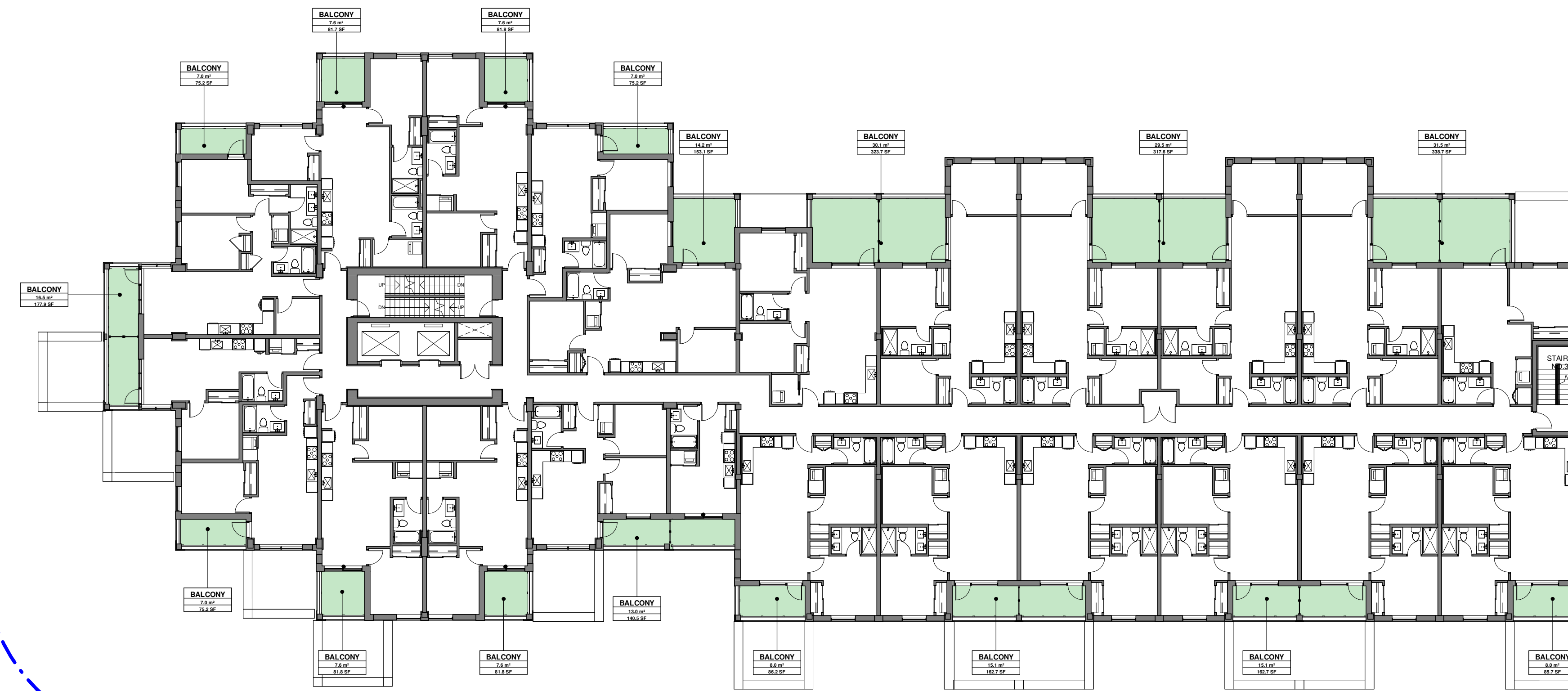
PROJECT
Capri Tower 1
 1835 Gordon Dr,
 Kelowna, BC V1Y 3H5

PROJECT NO:
 125701
 DRAWN BY: **TL** CHECKED BY: **GM**
 PROJECT MGR: **GM** APPROVED BY: **LM**

SHEET TITLE
LEVEL 01 & 02 OPEN SPACE PLANS

SHEET NUMBER **DP6.01** ISSUE **A**

- BALCONY
- PRIVATE PATIO
- ROOF TERRACE



OPEN SPACE SCHEDULE - LEVEL 04-05

| Legend | Usage Type | Count | Area m ² | Area ft ² |
|---|------------|-------|-----------------------|----------------------|
| | BALCONY | 17 | 232.39 m ² | 2501.40 SF |
| Total Open Space: | | | 232.39 m ² | 2501.40 SF |

2 LEVEL 04-05 - PRIVATE OPEN SPACE PLAN
DP6.02 SCALE: 1/16" = 1'-0"



OPEN SPACE SCHEDULE - LEVEL 03

| Legend | Usage Type | Count | Area m ² | Area ft ² |
|---|--------------|-------|-----------------------|----------------------|
| | BALCONY | 2 | 60.97 m ² | 656.31 SF |
| | ROOF TERRACE | 3 | 789.32 m ² | 8496.21 SF |
| Total Open Space: | | | 850.30 m ² | 9152.52 SF |

1 LEVEL 03 - PRIVATE OPEN SPACE PLAN
DP6.02 SCALE: 1/16" = 1'-0"

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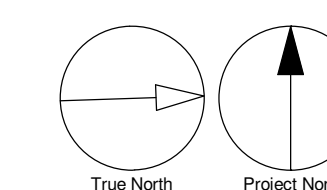
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PROJECT
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1835 Gordon Dr,
Kelowna, BC V1Y 3H5

PROJECT NO:
125701
DRAWN BY: **TL** CHECKED BY: **GM**
PROJECT MGR: **GM** APPROVED BY: **LM**

SHEET TITLE
LEVEL 03 & 04 OPEN SPACE PLANS

SHEET NUMBER **DP6.02** ISSUE **A**

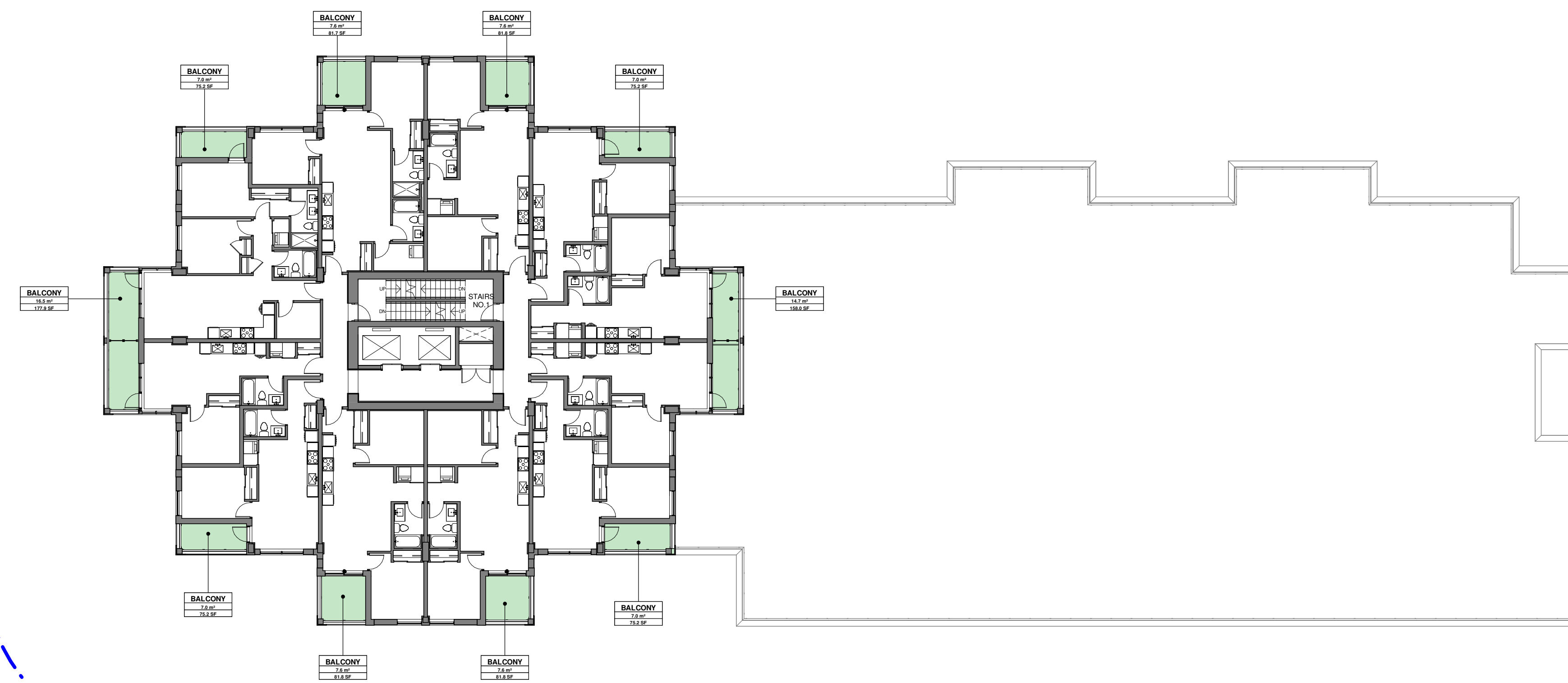


- BALCONY
- PRIVATE PATIO
- ROOF TERRACE



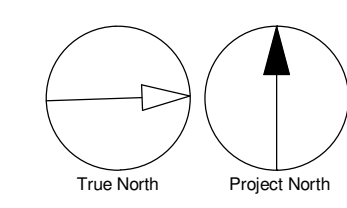
| OPEN SPACE SCHEDULE - LEVEL 06 | | | | |
|---|--------------|-------|------------------------|----------------------|
| Legend | Usage Type | Count | Area m ² | Area ft ² |
| | BALCONY | 9 | 67.88 m ² | 730.62 SF |
| | ROOF TERRACE | 1 | 1223.38 m ² | 13168.32 SF |
| Total Open Space: | | | 1291.25 m ² | 13898.94 SF |

1 LEVEL 06 - PRIVATE OPEN SPACE PLAN
DP6.03 SCALE: 1/16" = 1'-0"



| OPEN SPACE SCHEDULE - LEVEL 07-22 | | | | |
|---|------------|-------|----------------------|----------------------|
| Legend | Usage Type | Count | Area m ² | Area ft ² |
| | BALCONY | 10 | 86.23 m ² | 928.18 SF |
| Total Open Space: | | | 86.23 m ² | 928.18 SF |

2 LEVEL 07-22 - PRIVATE OPEN SPACE PLAN
DP6.03 SCALE: 1/16" = 1'-0"



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PROJECT

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PROJECT NO:
125701

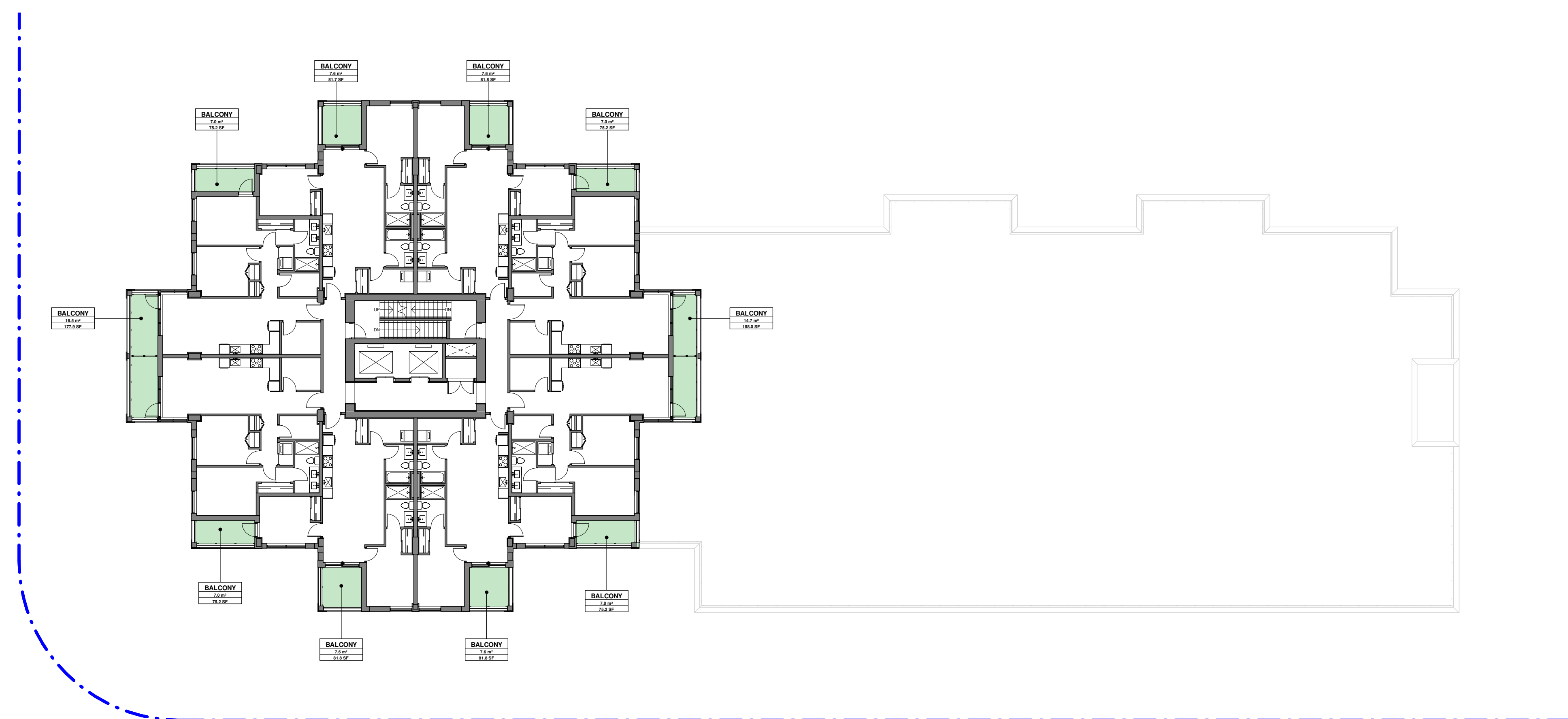
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|---------------------------|---------------------------|
| DRAWN BY: TL | CHECKED BY: GM |
| PROJECT MGR: GM | APPROVED BY: LM |

SHEET TITLE

LEVEL 06 & 07-22 OPEN SPACE PLANS

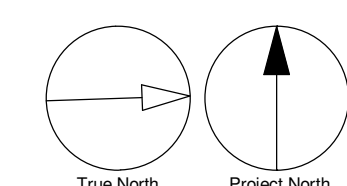
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|---------------------|--------------|
| SHEET NUMBER | ISSUE |
| DP6.03 | A |

2023-12-15 11:45:40 AM



- BALCONY
- PRIVATE PATIO
- ROOF TERRACE

| OPEN SPACE SCHEDULE - LEVEL 23 | | | | |
|--------------------------------|------------|-------|----------------------|----------------------|
| Legend | Usage Type | Count | Area m ² | Area ft ² |
| | BALCONY | 10 | 89.54 m ² | 963.83 SF |
| Total Open Space: | | | 89.54 m ² | 963.83 SF |



1 LEVEL 23 - PRIVATE OPEN SPACE PLAN
 DP6.04 SCALE: 1/16" = 1'-0"

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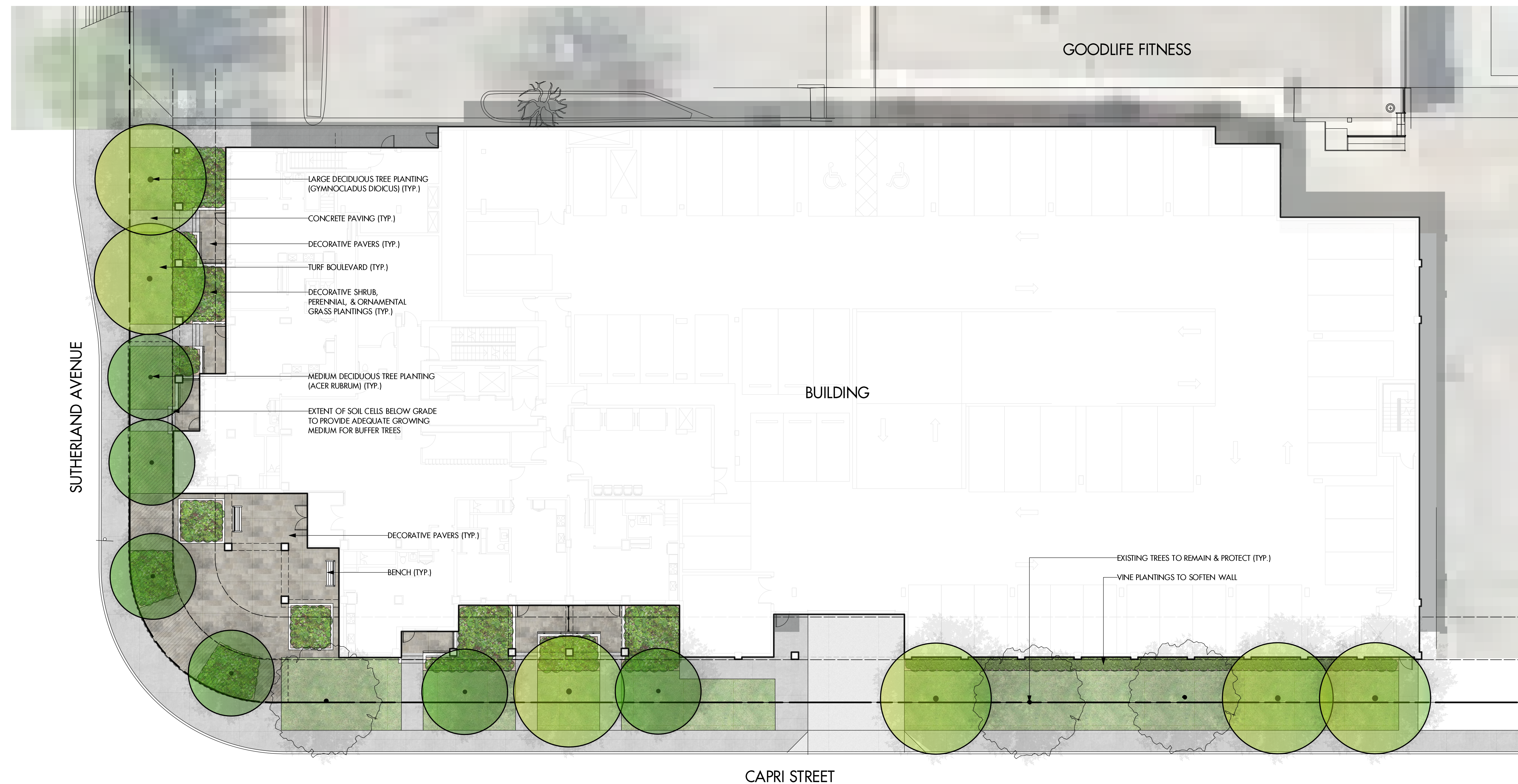
PROJECT
Capri Tower 1
 1835 Gordon Dr,
 Kelowna, BC V1Y 3H5

PROJECT NO:
 125701
 DRAWN BY: TL
 PROJECT MGR: GM
 CHECKED BY: GM
 APPROVED BY: LM

SHEET TITLE
LEVEL 23 OPEN SPACE PLAN

SHEET NUMBER
DP6.04
 ISSUE
A

C:\Users\jlynch\AppData\Local\Arcadis\Rev\2023\125701_Capri_Tower_1_A-2023_Tony_Lynch.rvt



SUTHERLAND AVENUE

GOODLIFE FITNESS

BUILDING

CAPRI STREET

LARGE DECIDUOUS TREE PLANTING
(GYMNOCLADUS DIOICUS) (TYP.)

CONCRETE PAVING (TYP.)

DECORATIVE PAVERS (TYP.)

TURF BOULEVARD (TYP.)

DECORATIVE SHRUB,
PERENNIAL, & ORNAMENTAL
GRASS PLANTINGS (TYP.)

MEDIUM DECIDUOUS TREE PLANTING
(ACER RUBRUM) (TYP.)

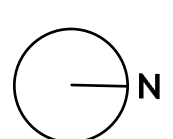
EXTENT OF SOIL CELLS BELOW GRADE
TO PROVIDE ADEQUATE GROWING
MEDIUM FOR BUFFER TREES

DECORATIVE PAVERS (TYP.)

BENCH (TYP.)

EXISTING TREES TO REMAIN & PROTECT (TYP.)

VINE PLANTINGS TO SOFTEN WALL



PROJECT TITLE
CAPRI TOWER

Kelowna, BC

DRAWING TITLE
**CONCEPTUAL
LANDSCAPE PLAN
LEVEL 1**

| ISSUED FOR / REVISION | DATE | REVISION |
|-----------------------|----------|--------------------|
| 1 | 23.06.16 | Review |
| 2 | 23.06.23 | Development Permit |
| 3 | 23.07.13 | Development Permit |
| 4 | 23.11.10 | Development Permit |
| 5 | | |

| | |
|-------------|---------------|
| PROJECT NO. | 21-3613 |
| DESIGN BY | AM |
| DRAWN BY | NM/MC |
| CHECKED BY | FB |
| DATE | NOV. 10, 2023 |
| SCALE | 1:150 |
| PAGE SIZE | 24x36 |

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DRAWING NUMBER

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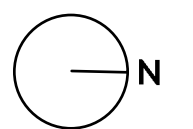
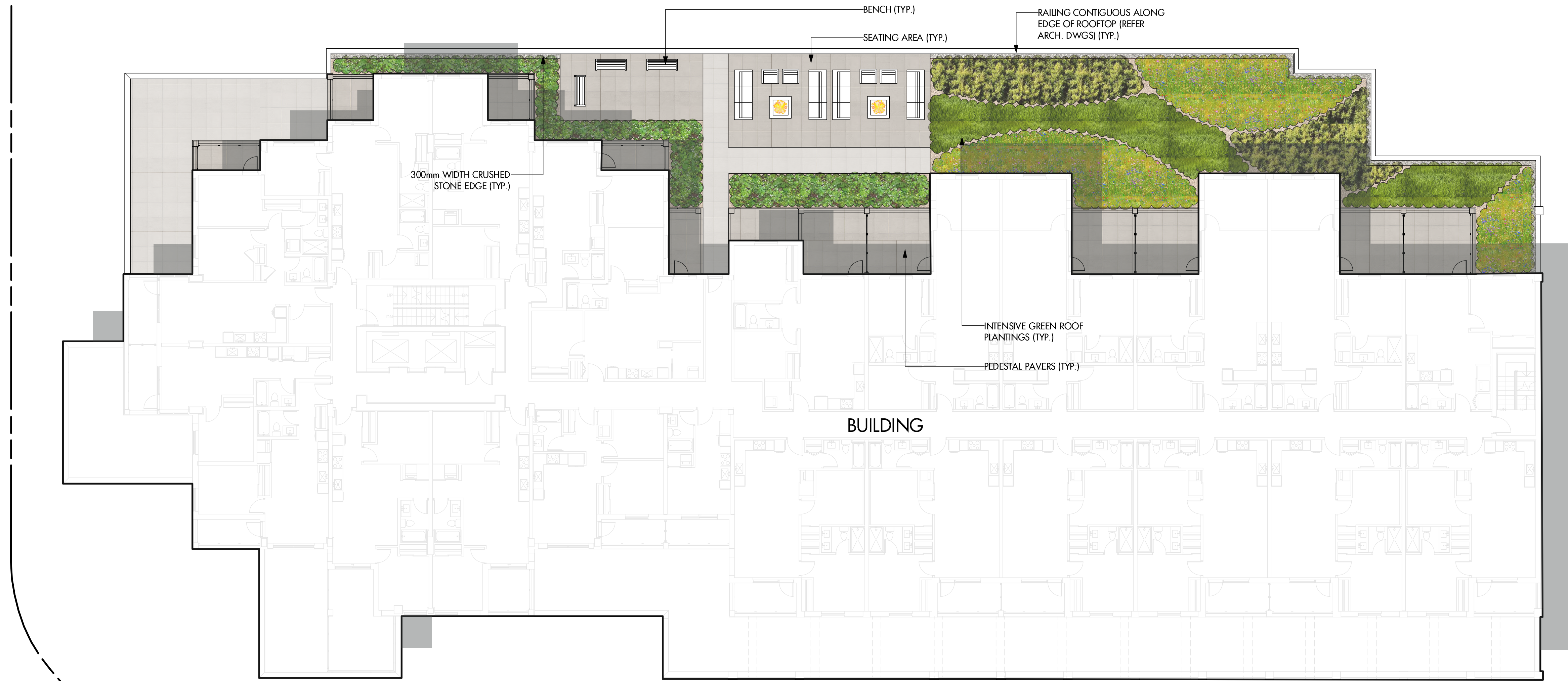
| | |
|--|---|
| | CONCRETE PAVING |
| | PEDESTAL PAVERS |
| | DECORATIVE PAVING |
| | DECORATIVE SHRUB, PERENNIAL, & ORNAMENTAL GRASS PLANTINGS |
| | TURF, FROM SOD (SOURCE LOCALLY) |
| | WOOD MULCH SURFACING |
| | DECIDUOUS TREE PLANTING |

- NOTES**
- PLANT MATERIAL AND CONSTRUCTION METHODS SHALL MEET OR EXCEED CANADIAN LANDSCAPE STANDARDS. ALL OFFSITE LANDSCAPE WORKS TO MEET CITY OF KELOWNA BYLAW 12375 STANDARDS.
 - ALL SOFT LANDSCAPE AREAS SHALL BE WATERED BY A FULLY AUTOMATIC TIMED UNDERGROUND IRRIGATION SYSTEM.
 - TREE AND SHRUB BEDS TO BE DRESSED IN A MINIMUM 75mm NATURAL WOOD MULCH AS SHOWN IN PLANS. DO NOT PLACE WEED MAT UNDERNEATH TREE AND SHRUB BEDS.
 - SHRUB BEDS TO RECEIVE A MINIMUM 300mm DEPTH TOPSOIL PLACEMENT. TREE BEDS TO RECEIVE A MINIMUM 1000mm DEPTH TOPSOIL PLACEMENT.
 - TURF AREA FROM SOD SHALL BE NO. 1 GRADE GROWN FROM CERTIFIED SEED OF IMPROVED CULTIVARS REGISTERED FOR SALE IN B.C. AND SHALL BE TOLERANT OF DROUGHT CONDITIONS. A MINIMUM OF 150mm DEPTH OF GROWING MEDIUM IS REQUIRED BENEATH TURF AREAS. TURF AREAS SHALL MEET EXISTING GRADES AND HARD SURFACES FLUSH.
 - SITE GRADING AND DRAINAGE WILL ENSURE THAT ALL STRUCTURES HAVE POSITIVE DRAINAGE AND THAT NO WATER OR LOOSE IMPEDIMENTS WILL BE DISCHARGED FROM THE LOT ONTO ADJACENT PUBLIC, COMMON, OR PRIVATE PROPERTIES.
 - FOR CONFORMANCE WITH DEVELOPMENT PERMIT LANDSCAPE REQUIREMENTS, THE PRIME CONTRACTOR AND/OR CONSULTANTS RESPONSIBLE FOR SITE SERVICING AND UTILITIES SHALL ENSURE THAT ALL BUILDING PERMIT SUBMITTALS ARE COORDINATED WITH LANDSCAPE ARCHITECTURAL SUBMITTALS.

PLANT LIST *PLANT QUANTITIES ESTIMATED ONLY. NOT FOR PRICING*

| BOTANICAL NAME | COMMON NAME | QTY* | SIZE/SPACING & REMARKS |
|---|---------------------------------|------|-------------------------------|
| TREES | | | |
| ACER PALMATUM 'BLOODGOOD' | BLOODGOOD JAPANESE MAPLE | 4 | 3m CAL. |
| ACER RUBRUM | RED MAPLE | 7 | 4m CAL. |
| GYMNOCLADUS DIOICUS | KENTUCKY COFFEE TREE | 8 | 6m CAL. |
| SHRUBS | | | |
| BERBERIS THUNBERGII 'ROSE GLOW' | ROSE GLOW BARBERRY | 22 | #02 CONT. /1.0M O.C. SPACING |
| BUXUS 'GREEN GEM' | GREEN GEM BOXWOOD | 22 | #02 CONT. /1.0M O.C. SPACING |
| CORNUS ALBA 'ARGENTEO MARGINATA' | VARIEGATE TARTARIAN DOGWOOD | 22 | #02 CONT. /1.0M O.C. SPACING |
| HYDRANGEA ARBORESCENS 'ANNABELLE' | ANNABELLE HYDRANGEA | 15 | #02 CONT. /1.2M O.C. SPACING |
| MAHONIA AQUIFOLIUM | OREGON GRAPE HOLLY | 10 | #02 CONT. /1.5M O.C. SPACING |
| PHILADELPHUS LEWISII | MOCKORANGE | 12 | #02 CONT. /1.2M O.C. SPACING |
| PICEA ABIES 'NIDIFORMIS' | NORWAY SPRUCE | 10 | #02 CONT. /1.5M O.C. SPACING |
| RHUS AROMATICA 'GRO-LOW' | GROW LOW FRAGRANT SUMAC | 10 | #02 CONT. /1.5M O.C. SPACING |
| ROSA 'EMILY CARR' | EMILY CARR ROSE | 12 | #02 CONT. /1.2M O.C. SPACING |
| SYRINGA MEYERI 'PAUBIN' | DWARF KOREAN LILAC | 10 | #02 CONT. /1.5M O.C. SPACING |
| PERENNIALS, GRASSES & GROUNDCOVERS | | | |
| ALCHEMILLA MOLLI | LADY'S MANTLE | 21 | #01 CONT. /0.75M O.C. SPACING |
| CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER' | KARL FOESTER FEATHER REED GRASS | 12 | #01 CONT. /1.0M O.C. SPACING |
| COREOPSIS 'JETHRO TULL' | JETHRO TULL COREOPSIS | 33 | #01 CONT. /0.6M O.C. SPACING |
| ECHINACEA PURPUREA 'MAGNUS' | MAGNUS CONEFLOWER | 33 | #01 CONT. /0.6M O.C. SPACING |
| HEMEROCALLIS 'SUMMERWINE' | SUMMERWINE DAYLILY | 21 | #01 CONT. /0.75M O.C. SPACING |
| MATTEUCIA STRUTHIOPTERIS | OSTRICH FERN | 12 | #01 CONT. /1.0M O.C. SPACING |
| NEPETA X FAASSENII 'WALKER'S LOW' | WALKER'S LOW CATMINT | 15 | #01 CONT. /0.9M O.C. SPACING |
| PENNISETUM ALOPECUROIDES | FOUNTAIN GRASS | 8 | #01 CONT. /1.2M O.C. SPACING |
| SEDUM FLORIFERUM 'WEIHENSTEPHNER GOLD' | GOLD STONECROP | 150 | PLUGS /0.3M O.C. SPACING |
| SEDUM REFLEXUM 'BLUE LAGOON' | BLUE LAGOON STONECROP | 150 | PLUGS /0.3M O.C. SPACING |
| SEDUM SPECTABILE 'AUTUMN JOY' | AUTUMN JOY STONECROP | 150 | PLUGS /0.3M O.C. SPACING |
| SEDUM SPURRUM 'DRAGON'S BLOOD' | DRAGON'S BLOOD STONECROP | 150 | PLUGS /0.3M O.C. SPACING |
| VINES | | | |
| PARTHENOCISSUS TRICUSPIDATA | BOSTON IVY | 20 | #01 CONT. /1.0M O.C. SPACING |

0 5 10 15 20 25 M



PROJECT TITLE

CAPRI TOWER

Kelowna, BC

DRAWING TITLE

**CONCEPTUAL
LANDSCAPE PLAN
LEVEL 3**

ISSUED FOR / REVISION

| | | |
|---|----------|--------------------|
| 1 | 23.06.16 | Review |
| 2 | 23.06.23 | Development Permit |
| 3 | 23.07.13 | Development Permit |
| 4 | 23.11.10 | Development Permit |
| 5 | | |

PROJECT NO: 21-3613
DESIGN BY: AM
DRAWN BY: NM/MC
CHECKED BY: FB
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SEAL



DRAWING NUMBER

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LEGEND

| | |
|--|---|
| | CONCRETE PAVING |
| | PEDESTAL PAVERS |
| | DECORATIVE PAVING |
| | DECORATIVE SHRUB, PERENNIAL, & ORNAMENTAL GRASS PLANTINGS |
| | TURF, FROM SOD (SOURCE LOCALLY) |
| | WOOD MULCH SURFACING |
| | DECIDUOUS TREE PLANTING |

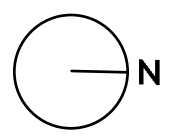
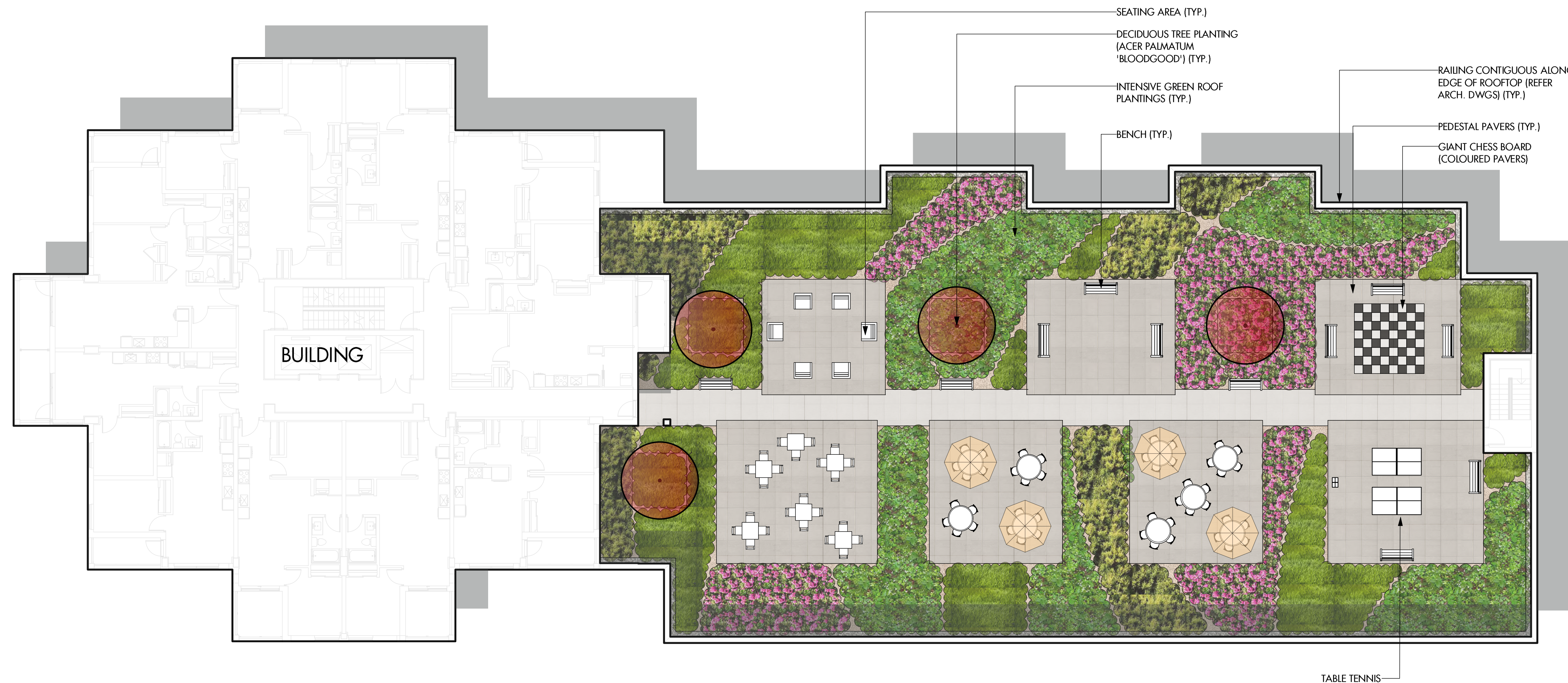
NOTES

1. PLANT MATERIAL AND CONSTRUCTION METHODS SHALL MEET OR EXCEED CANADIAN LANDSCAPE STANDARDS. ALL OFFSITE LANDSCAPE WORKS TO MEET CITY OF KELOWNA BYLAW 12375 STANDARDS.
2. ALL SOFT LANDSCAPE AREAS SHALL BE WATERED BY A FULLY AUTOMATIC TIMED UNDERGROUND IRRIGATION SYSTEM.
3. TREE AND SHRUB BEDS TO BE DRESSED IN A MINIMUM 75mm NATURAL WOOD MULCH AS SHOWN IN PLANS. DO NOT PLACE WEED MAT UNDERNEATH TREE AND SHRUB BEDS.
4. SHRUB BEDS TO RECEIVE A MINIMUM 300mm DEPTH TOPSOIL PLACEMENT. TREE BEDS TO RECEIVE A MINIMUM 1000mm DEPTH TOPSOIL PLACEMENT.
5. TURF AREA FROM SOD SHALL BE NO. 1 GRADE GROWN FROM CERTIFIED SEED OF IMPROVED CULTIVARS REGISTERED FOR SALE IN B.C. AND SHALL BE TOLERANT OF DROUGHT CONDITIONS. A MINIMUM OF 150mm DEPTH OF GROWING MEDIUM IS REQUIRED BENEATH TURF AREAS. TURF AREAS SHALL MEET EXISTING GRADES AND HARD SURFACES FLUSH.
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PLANT LIST

PLANT QUANTITIES ESTIMATED ONLY. NOT FOR PRICING

| BOTANICAL NAME | COMMON NAME | QTY* | SIZE/SPACING & REMARKS |
|---|---------------------------------|------|-------------------------------|
| TREES | | | |
| ACER PALMATUM 'BLOODGOOD' | BLOODGOOD JAPANESE MAPLE | 4 | 3m CAL |
| ACER RUBRUM | RED MAPLE | 7 | 4m CAL |
| GYMNOCALADUS DIOICUS | KENTUCKY COFFEE TREE | 8 | 6m CAL |
| SHRUBS | | | |
| BERBERIS THUNBERGII 'ROSE GLOW' | ROSE GLOW BARBERRY | 22 | #02 CONT. /1.0M O.C. SPACING |
| BUXUS 'GREEN GEM' | GREEN GEM BOXWOOD | 22 | #02 CONT. /1.0M O.C. SPACING |
| CORNUS ALBA 'ARGENTEO MARGINATA' | VARIEGATE TARTARIAN DOGWOOD | 22 | #02 CONT. /1.0M O.C. SPACING |
| HYDRANGEA ARBORESCENS 'ANNABELLE' | ANNABELLE HYDRANGEA | 15 | #02 CONT. /1.2M O.C. SPACING |
| MAHONIA AQUIFOLIUM | OREGON GRAPE HOLLY | 10 | #02 CONT. /1.5M O.C. SPACING |
| PHILADELPHUS LEWISII | MOCKORANGE | 12 | #02 CONT. /1.2M O.C. SPACING |
| PICEA ABIES 'NIDIFORMIS' | NORWAY SPRUCE | 10 | #02 CONT. /1.5M O.C. SPACING |
| RHUS AROMATICA 'GRO-LOW' | GROW LOW FRAGRANT SUMAC | 10 | #02 CONT. /1.5M O.C. SPACING |
| ROSA 'EMILY CARR' | EMILY CARR ROSE | 12 | #02 CONT. /1.2M O.C. SPACING |
| SYRINGA MEYERI 'PAUBIN' | DWARF KOREAN LILAC | 10 | #02 CONT. /1.5M O.C. SPACING |
| PERENNIALS, GRASSES & GROUNDCOVERS | | | |
| ALCHEMILLA MOLLISS | LADY'S MANTLE | 21 | #01 CONT. /0.75M O.C. SPACING |
| CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER' | KARL FOESTER FEATHER REED GRASS | 12 | #01 CONT. /1.0M O.C. SPACING |
| COREOPSIS 'JETHRO TULL' | JETHRO TULL COREOPSIS | 33 | #01 CONT. /0.6M O.C. SPACING |
| ECHINACEA PURPUREA 'MAGNUS' | MAGNUS CONEFLOWER | 33 | #01 CONT. /0.6M O.C. SPACING |
| HEMEROCALLIS 'SUMMERWINE' | SUMMERWINE DAYLILLY | 21 | #01 CONT. /0.75M O.C. SPACING |
| MATTEUCIA STRUTHIOPTERIS | OSTRICH FERN | 12 | #01 CONT. /1.0M O.C. SPACING |
| NEPETA X FAASSENII 'WALKER'S LOW' | WALKER'S LOW CATMINT | 15 | #01 CONT. /0.9M O.C. SPACING |
| PENNISETUM ALOPECUROIDES | FOUNTAIN GRASS | 8 | #01 CONT. /1.2M O.C. SPACING |
| SEDUM FLORIFERUM 'WEHNSTEPHANER GOLD' | GOLD STONECROP | 150 | PLUGS /0.3M O.C. SPACING |
| SEDUM REFLEXUM 'BLUE LAGOON' | BLUE LAGOON STONECROP | 150 | PLUGS /0.3M O.C. SPACING |
| SEDUM SPECTABILE 'AUTUMN JOY' | AUTUMN JOY STONECROP | 150 | PLUGS /0.3M O.C. SPACING |
| SEDUM SPURIEUM 'DRAGON'S BLOOD' | DRAGON'S BLOOD STONECROP | 150 | PLUGS /0.3M O.C. SPACING |
| VINES | | | |
| PARTHENOCISSUS TRICUSPIDATA | BOSTON IVY | 20 | #01 CONT. /1.0M O.C. SPACING |



PROJECT TITLE
CAPRI TOWER

Kelowna, BC

DRAWING TITLE

**CONCEPTUAL
 LANDSCAPE PLAN
 LEVEL 6**

| ISSUED FOR / REVISION | DATE | REVISION |
|-----------------------|----------|--------------------|
| 1 | 23.06.16 | Review |
| 2 | 23.06.23 | Development Permit |
| 3 | 23.07.13 | Development Permit |
| 4 | 23.11.10 | Development Permit |
| 5 | | |

| | |
|-------------|---------------|
| PROJECT NO. | 21-3613 |
| DESIGN BY | AM |
| DRAWN BY | NM/MC |
| CHECKED BY | FB |
| DATE | NOV. 10, 2023 |
| SCALE | 1:150 |
| PAGE SIZE | 24x36 |

SEAL



DRAWING NUMBER

LS103

NOT FOR CONSTRUCTION

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LEGEND

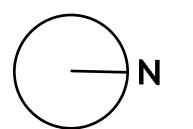
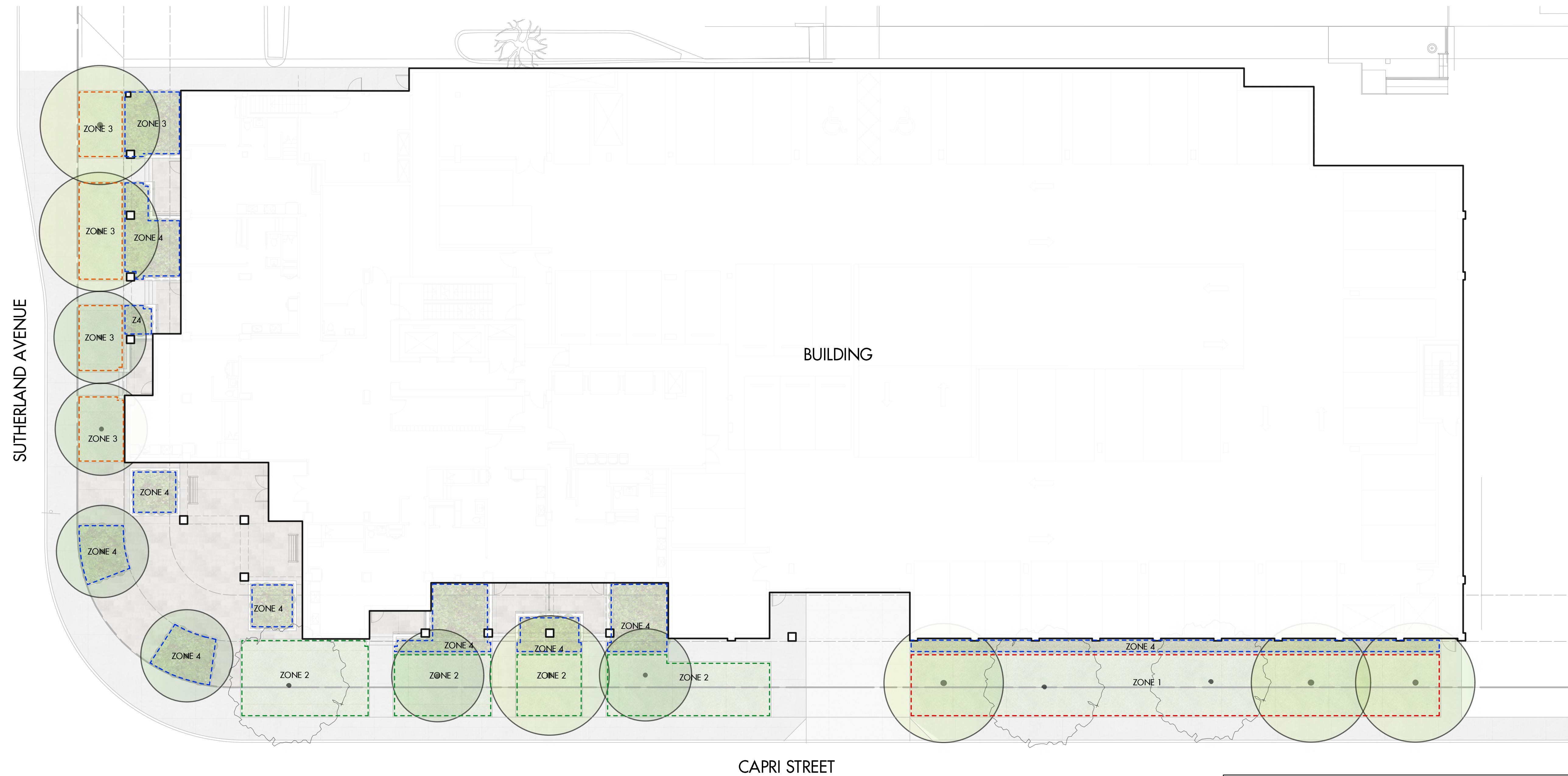
| | |
|--|---|
| | CONCRETE PAVING |
| | PEDESTAL PAVERS |
| | DECORATIVE PAVING |
| | DECORATIVE SHRUB, PERENNIAL, & ORNAMENTAL GRASS PLANTINGS |
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| CORNUS ALBA 'ARGENTEO MARGINATA' | VARIEGATE TARTARIAN DOGWOOD | 22 | #02 CONT. /1.0M O.C. SPACING |
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| MAHONIA AQUIFOLIUM | OREGON GRAPE HOLLY | 10 | #02 CONT. /1.5M O.C. SPACING |
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| PICEA ABIES 'NIDIFORMIS' | NORWAY SPRUCE | 10 | #02 CONT. /1.5M O.C. SPACING |
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| VINES | | | |
| PARTHENOCISSUS TRICUSPIDATA | BOSTON IVY | 20 | #01 CONT. /1.0M O.C. SPACING |

0 5 10 15 20 25 M



PROJECT TITLE
CAPRI TOWER

Kelowna, BC

DRAWING TITLE

**WATER CONSERVATION/
IRRIGATION PLAN
LEVEL 1**

ISSUED FOR / REVISION

| | | |
|---|----------|--------------------|
| 1 | 23.06.16 | Review |
| 2 | 23.06.23 | Development Permit |
| 3 | 23.07.13 | Development Permit |
| 4 | 23.11.10 | Development Permit |
| 5 | | |

PROJECT NO: 21-3613

DESIGN BY: AM

DRAWN BY: NM/MC

CHECKED BY: FB

DATE: NOV. 10, 2023

SCALE: 1:150

PAGE SIZE: 24x36

SEAL



DRAWING NUMBER

LS104

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BUILDING

SUTHERLAND AVENUE

CAPRI STREET

IRRIGATION LEGEND

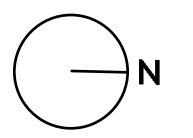
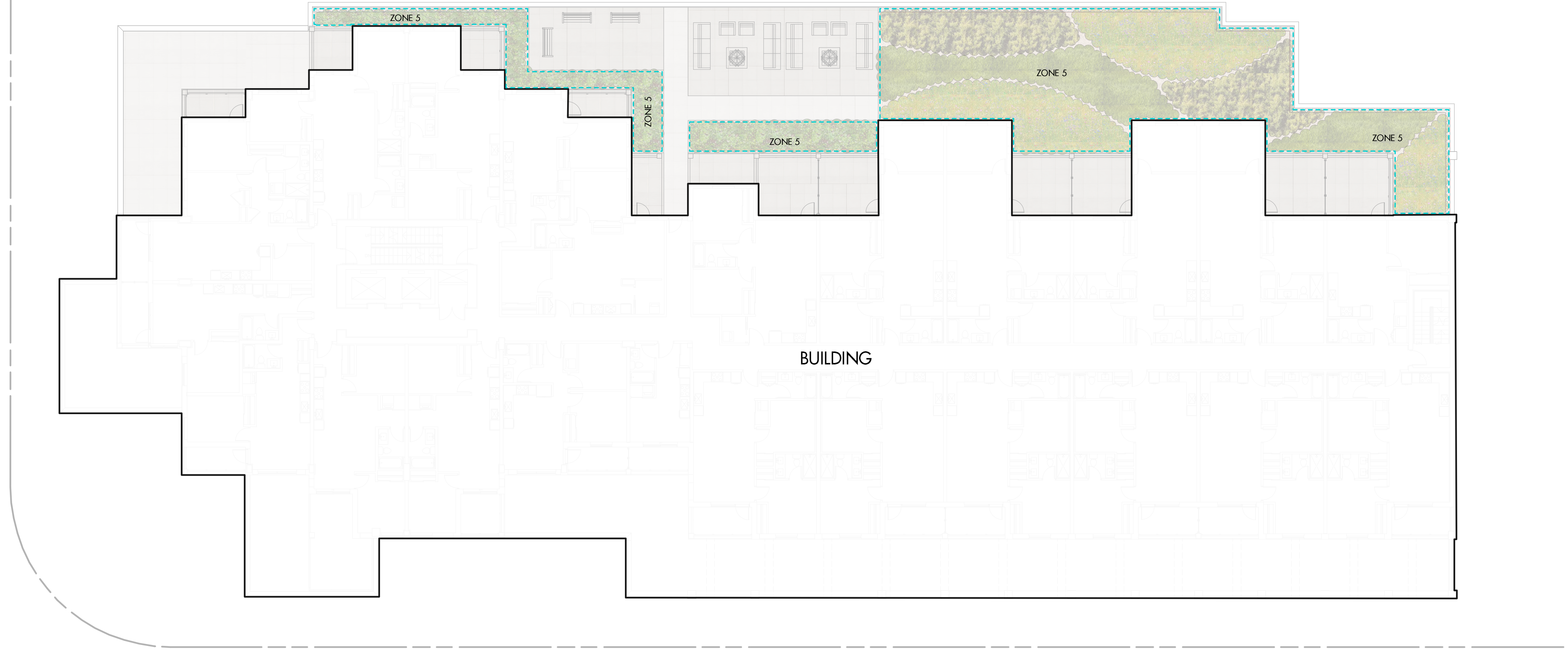
- ZONE #1: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS
TOTAL AREA: 144 sq.m.
MICROCLIMATE: SOUTHEAST EXPOSURE, PARTIALLY SHADED BY TREES AND BUILDING
ESTIMATED ANNUAL WATER USE: 123 cu.m.
- ZONE #2: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS
TOTAL AREA: 130 sq.m.
MICROCLIMATE: SOUTHWEST EXPOSURE, PARTIALLY SHADED BY TREES AND BUILDING
ESTIMATED ANNUAL WATER USE: 111 cu.m.
- ZONE #3: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS
TOTAL AREA: 59 sq.m.
MICROCLIMATE: SOUTHWEST EXPOSURE, PARTIALLY SHADED BY TREES AND BUILDING
ESTIMATED ANNUAL WATER USE: 51 cu.m.
- ZONE #4: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
TOTAL AREA: 159 sq.m.
MICROCLIMATE: SOUTHWEST EXPOSURE, PARTIALLY SHADED BY TREES AND BUILDING
ESTIMATED ANNUAL WATER USE: 53 cu.m.
- ZONE #5: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
TOTAL AREA: 307 sq.m.
MICROCLIMATE: SOUTHWEST EXPOSURE, PARTIALLY SHADED BY TREES AND BUILDING
ESTIMATED ANNUAL WATER USE: 102 cu.m.
- ZONE #6: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
TOTAL AREA: 356 sq.m.
MICROCLIMATE: SOUTHWEST EXPOSURE, PARTIALLY SHADED BY TREES AND BUILDING
ESTIMATED ANNUAL WATER USE: 119 cu.m.
- ZONE #7: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
TOTAL AREA: 331 sq.m.
MICROCLIMATE: NORTHWEST EXPOSURE, PARTIALLY SHADED BY TREES AND BUILDING
ESTIMATED ANNUAL WATER USE: 110 cu.m.

IRRIGATION NOTES

1. IRRIGATION PRODUCTS AND INSTALLATION METHODS SHALL MEET OR EXCEED THE REQUIREMENTS OF THE WATER USE REGULATION BYLAW NO. 10480 AND THE SUPPLEMENTARY SPECIFICATIONS IN THE CITY OF KELOWNA BYLAW 7900 (PART 6, SCHEDULE 5).
2. THE IRRIGATION SYSTEM SHALL MEET THE REQUIREMENTS, REGULATIONS, AND BYLAWS OF THE WATER PURVEYOR.
3. THE IRRIGATION SYSTEM SHALL BE EQUIPPED WITH AN APPROVED BACKFLOW PREVENTION DEVICE, WATER METER, AND SHUT OFF VALVE LOCATED OUTSIDE THE BUILDING ACCESSIBLE TO THE CITY.
4. AN APPROVED SMART CONTROLLER SHALL BE INSTALLED. THE IRRIGATION SCHEDULING TIMES SHALL UTILIZE A MAXIMUM ET VALUE OF 7" / MONTH (KELOWNA JULY ET), TAKING INTO CONSIDERATION SOIL TYPE, SLOPE, AND MICROCLIMATE.
5. DRIP LINE AND EMITTERS SHALL INCORPORATE TECHNOLOGY TO LIMIT ROOT INTRUSION.
6. IRRIGATION SLEEVES SHALL BE INSTALLED TO ROUTE IRRIGATION LINES UNDER HARD SURFACES AND FEATURES.
7. IRRIGATION PIPE SHALL BE SIZED TO ALLOW FOR A MAXIMUM FLOW OF 1.5m / SEC.
8. A FLOW SENSOR AND MASTER VALVE SHALL BE CONNECTED TO THE CONTROLLER AND PROGRAMMED TO STOP FLOW TO THE SYSTEM IN CASE OF AN IRRIGATION WATER LEAK.

WATER CONSERVATION CALCULATIONS

LANDSCAPE MAXIMUM WATER BUDGET (WB) = 892 cu.m. / year
ESTIMATED LANDSCAPE WATER USE (WU) = 670 cu.m. / year
WATER BALANCE = 222 cu.m. / year
*REFER ATTACHED IRRIGATION APPLICATION FOR DETAILED CALCULATIONS



PROJECT TITLE
CAPRI TOWER

Kelowna, BC

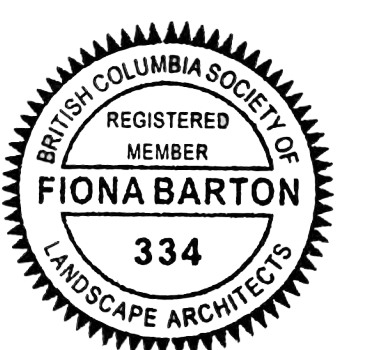
DRAWING TITLE

**WATER CONSERVATION/
 IRRIGATION PLAN
 LEVEL 3**

| ISSUED FOR / REVISION | | |
|-----------------------|----------|--------------------|
| 1 | 23.06.16 | Review |
| 2 | 23.06.23 | Development Permit |
| 3 | 23.07.13 | Development Permit |
| 4 | 23.11.10 | Development Permit |
| 5 | | |

| | |
|-------------|---------------|
| PROJECT NO. | 21-3613 |
| DESIGN BY | AM |
| DRAWN BY | NM/MC |
| CHECKED BY | FB |
| DATE | NOV. 10, 2023 |
| SCALE | 1:150 |
| PAGE SIZE | 24x36 |

SEAL



DRAWING NUMBER

LS105

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IRRIGATION LEGEND

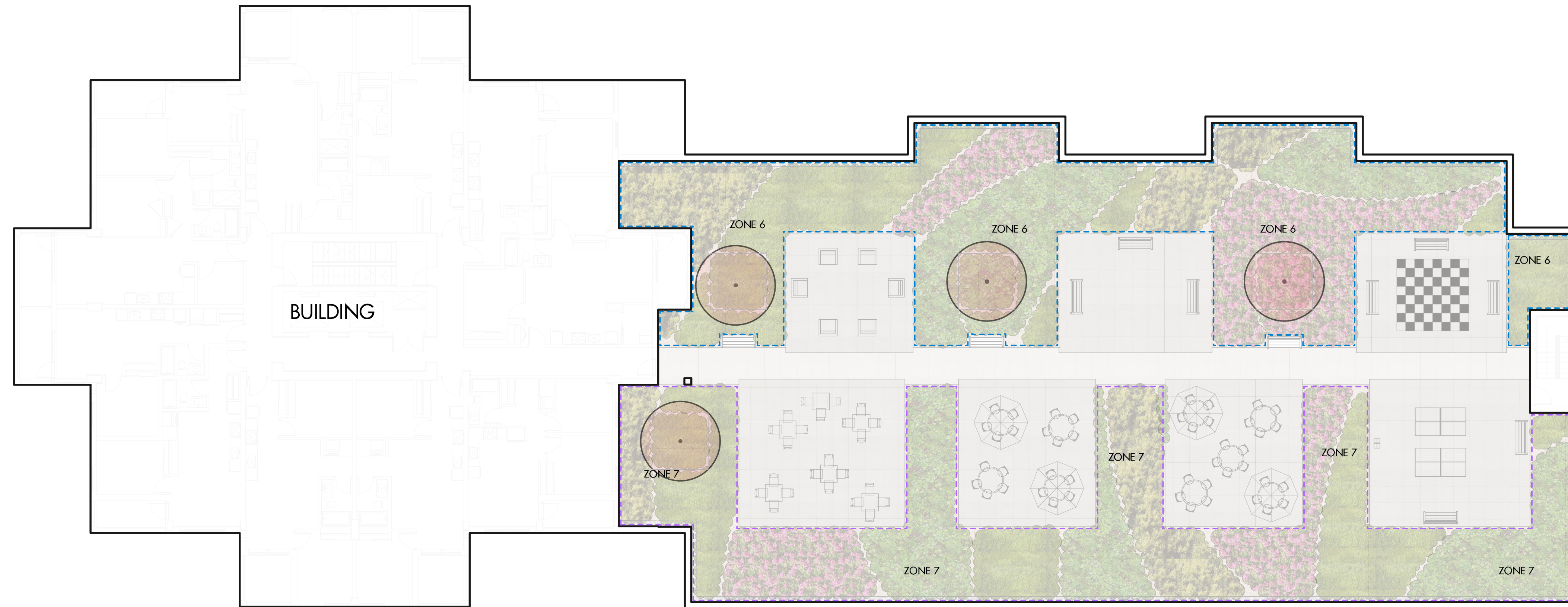
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WATER CONSERVATION CALCULATIONS

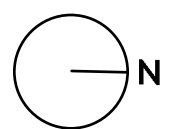
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- ZONE #1: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS
 TOTAL AREA: 144 sq.m.
 MICROCLIMATE: SOUTHEAST EXPOSURE, PARTIALLY SHADED BY TREES AND BUILDING
 ESTIMATED ANNUAL WATER USE: 123 cu.m.
- ZONE #2: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS
 TOTAL AREA: 130 sq.m.
 MICROCLIMATE: SOUTHWEST EXPOSURE, PARTIALLY SHADED BY TREES AND BUILDING
 ESTIMATED ANNUAL WATER USE: 111 cu.m.
- ZONE #3: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS
 TOTAL AREA: 59 sq.m.
 MICROCLIMATE: SOUTHWEST EXPOSURE, PARTIALLY SHADED BY TREES AND BUILDING
 ESTIMATED ANNUAL WATER USE: 51 cu.m.
- ZONE #4: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
 TOTAL AREA: 159 sq.m.
 MICROCLIMATE: SOUTHWEST EXPOSURE, PARTIALLY SHADED BY TREES AND BUILDING
 ESTIMATED ANNUAL WATER USE: 53 cu.m.
- ZONE #5: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
 TOTAL AREA: 307 sq.m.
 MICROCLIMATE: NORTHWEST EXPOSURE, PARTIALLY SHADED BY TREES AND BUILDING
 ESTIMATED ANNUAL WATER USE: 102 cu.m.
- ZONE #6: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
 TOTAL AREA: 356 sq.m.
 MICROCLIMATE: SOUTHWEST EXPOSURE, PARTIALLY SHADED BY TREES AND BUILDING
 ESTIMATED ANNUAL WATER USE: 119 cu.m.
- ZONE #7: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
 TOTAL AREA: 331 sq.m.
 MICROCLIMATE: NORTHWEST EXPOSURE, PARTIALLY SHADED BY TREES AND BUILDING
 ESTIMATED ANNUAL WATER USE: 110 cu.m.



PROJECT TITLE

CAPRI TOWER

Kelowna, BC

DRAWING TITLE

**WATER CONSERVATION/
 IRRIGATION PLAN
 LEVEL 6**

ISSUED FOR / REVISION

| | | |
|---|----------|--------------------|
| 1 | 23.06.16 | Review |
| 2 | 23.06.23 | Development Permit |
| 3 | 23.07.13 | Development Permit |
| 4 | 23.11.10 | Development Permit |
| 5 | | |

PROJECT NO: 21-3613
 DESIGN BY: AM
 DRAWN BY: NM/MC
 CHECKED BY: FB
 DATE: NOV. 10, 2023
 SCALE: 1:150
 PAGE SIZE: 24x36

SEAL



DRAWING NUMBER

LS106

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